



# PROPERTY INSPECTION REPORT

123 Sample Street , Calgary ,

CLIENT: Clients Name  
INSPECTOR: Chris Odd  
DATE OF INSPECTION: 10/11/2022  
TIME OF INSPECTION: 4pm



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# 2022



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## Report Summary

On the summary page you will find, in **RED**, the more important concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report - including expectations that can be found at the end of the report.

For your safety and liability, we recommend that you hire only licensed contractors when having any work performed, and obtain more than one quotation. If living areas has been remodeled, walls removed or additions added we recommend that you verify the permits were obtained and certificate of occupancy issued. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done with or without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no Major system or safety concerns with this property at the day/time of inspection.

Exterior		
Page 13 Item: 10	Electrical Conditions	• Rear receptacle is damaged. Suggest replacement asap for safety.
Page 17 Item: 12	Lot Grade and Drainage Conditions	• Adding dirt backfill to any low lying areas located around the foundation is recommended to ensure proper drainage away from the foundation at all times.
Roof		
Page 21 Item: 2	Roof Condition	• Damaged areas noted - ridge caps are in poor condition in areas
Garage		
Page 27 Item: 4	Overhead Door Condition	• Door arm - bracket is pulling away front the top of the door - immediate repair required - due to the condition I only opened once and did not test the auto reverse • Garage door is rusting at the bottom
Page 29 Item: 11	Garage Comments	• Handrail is required where 3 or more stairs are in place
Kitchen/Dining Area		
Page 35 Item: 4	Kitchen Electrical Condition	• Left of stove - Top receptacle has no power
Page 36 Item: 8	Traps/Drains/Supply Condition	• Very strange plumbing configuration under the sink - no venting - suggest plumber assess
Other Interior Areas		
Page 48 Item: 4	Window Condition	• Bonus Room - Window crank requires attention
Page 51 Item: 8	Comments	• There are no cold air returns in the basement - without sufficient return air flow you may have inadequate (and insufficient) airflow.
Bedrooms		
Page 52 Item: 2	Walls/Ceilings Condition	• Hole cut in basement bedroom 1 appears to be for access for electrical box (should be sealed) also where the builders cold air return was prior to basement renovation. The cold air return is too closed in to be functional.

Page 56 Item: 4	Window Condition	<ul style="list-style-type: none"> <li>• Bedroom 3 - window requires attention to open and close correctly - in an emergency situation egress would be hindered</li> <li>• Clearly a draft issues at primary bedroom - seal and foam added - makes it hard to lock the window</li> <li>• Bedroom 3 - Window locks are not operation/broken, this poses a security issue.</li> </ul>
Page 58 Item: 6	Other Interior Area Comments	<ul style="list-style-type: none"> <li>• No cold air return observed in finished basement, which may result in inadequate heating and air circulation in this area.</li> </ul>
Bathrooms		
Page 59 Item: 1	Floors Condition	<ul style="list-style-type: none"> <li>• Cracked tiles, damaged grout and hollow sound indicate poor install - tiles will continue to crack</li> <li>• Cracked tiles observed - This can be an indication of poor subfloor installation.</li> </ul>
Page 63 Item: 6	Bathroom Exhaust Fan Condition	<ul style="list-style-type: none"> <li>• Family Bathroom - Poor draw noted on fan suggest repair/replace</li> <li>• Bathroom vent fan is improperly venting into the furnace room - Recommend fan exhaust to the exterior to prevent damage, deterioration from moisture/condensation - the vent line is far too long to be effective.</li> </ul>
Electrical		
Page 75 Item: 4	Electrical Comments	<ul style="list-style-type: none"> <li>• The top switch to the basement should be the master so you can always turn the light on from the top - electrician to assess as a safety issue</li> </ul>
HVAC		
Page 77 Item: 5	Filter comments	<ul style="list-style-type: none"> <li>• The filter is dirty. Recommend changing the filter as soon as possible.</li> </ul>
Page 80 Item: 8	Air Conditioning	<ul style="list-style-type: none"> <li>• Air conditioning failed to operate using normal controls</li> </ul>
Page 81 Item: 9	Heating Comments	<ul style="list-style-type: none"> <li>• Furnace runs for a period of minutes before shutting off - it continuously restarts and the turns off - this happened over 6 times while in the furnace room - the fan is noisy and no sign of recent service. This style has no fault code indicator. Suggest service engineer to assess asap due to lower temperature in the forecast.</li> </ul>
Attic		
Page 87 Item: 5	Ventilation Conditions	<ul style="list-style-type: none"> <li>• Someone has added batt insulation around the perimeter blocking the soffit vents</li> <li>• No daylight observed at the soffits from the ladders edge. The soffits have blocked by insulation. Ensure the soffits are clear or add additional venting to aid correct venting for the attic space</li> <li>• Insulation is blocking soffit vents, recommend clearing vents for proper ventilation.</li> </ul>



# General Information

## 1. Inspector

Odds On Home Inspections

## 2. Persons in Attendance

Inspection Agreement offered to be reviewed to the buyer prior to the inspection - Sent via electronic signature the day prior., Buyers - Part of inspection only, Buyers Agent - Part of inspection only, Relatives

## 3. Occupancy

The property is vacant. The inspector is unable to determine the period of time this house has been unoccupied. Major systems were reviewed during the home inspection. Plumbing related fixtures, appliances and piping systems were reviewed for appropriate function and leaks, as applicable, at visible areas. However, due to non-use of plumbing and other major systems for a period of time it is important that these systems be reviewed during your final walk-through prior to closing and closely monitored for a few months after occupancy for evidence of leaks and other problems. We also suggest monitoring visible areas of subflooring, under showers and tubs for wet conditions during this same period.

## 4. Property Information

Single family home

## 5. Levels

2 Story

6. Description of Ratings

Odds On Home Inspection services is a team of fully qualified, insured and bonded home inspectors regulated by the Alberta Government, CAPHI and/or InterNACHI.

Ratings Explained-

Inspected (INS) - The item, component or unit was visually observed and appeared to be functioning as intended for period construction. Normal wear and tear is allowable.

Not Inspected (NI) - We did not inspect this item, component or unit and made no representations of whether it was functioning as intended. The reason could be from not having utilities on or not being able to gain access to a specific location. Other reasons may result from safety issues or fear of injury.

Not Present (NP) - We did not inspect this item, component or unit and made no representations of whether it was present. It may not be installed in the house due to age, it may be covered or the inspection may be limited due to stored personal items.

Recommend Review (RR) - Review can be from the buyer but is typically from a subject expert, qualified contractor or trades person.

Safety Concern (SC) - We inspected the item and there is potential safety concern regarding the condition. Highly recommend immediate follow up with a qualified contractor as required.

GENERAL COMMENT:

PLEASE NOTE - Our goal is to test and inspect all visual and accessible areas and components of the home. As home inspectors we are generalists that are trained to look for problems and issues across an array of different trades.

We can only comment on our findings **during** the inspection. If no water issues, electrical problems, appliance faults etc are found during the inspection that does not mean issues were missed it means there were not present during the inspection. Nothing lasts forever and issues, leaks and faults can present themselves any time. **AS FRUSTRATING AS THAT CAN BE, WE CANNOT BE HELD RESPONSIBLE FOR EVENTS AFTER THE INSPECTION.** Homes require constant monitoring and maintenance.

The inspector is not required, to identify asbestos, mold, environmental concerns or detect Chinese drywall.

## Exterior

1. Driveway Condition

INS	NI	NP	RR	SC
x				

Materials: Concrete (over salting will damage over time)  
 Observations: The driveway is in serviceable condition at the time of inspection.



Common cracks and patching noted - over salting can damage concrete.

2. Walkway Conditions

INS	NI	NP	RR	SC
X				

Materials: Concrete (over salting will damage over time)  
 Observations: Walkway is in serviceable condition at the time of inspection.

3. Porch Condition

INS	NI	NP	RR	SC
X				

Materials: Concrete  
 Observations:  
 • Porch is in serviceable condition.

4. Exterior Wall Cladding Condition

INS	NI	NP	RR	SC
X			X	

Materials: Vinyl Siding/Stone Clad and Parging  
 Observations:  
 • Higher levels of wall clad around the home are only visually inspected from the ground level. Suggest sealing/caulking as part of routine maintenance.  
 • Suggest sealing holes/gaps in siding to protect the structure.  
 • Areas of minor damage noted.  
 • Hail damage is noted on the right side of the home



Areas of damage noted - right side



Right side





Right side



Right side



Right side



Right side



Right side



## 5. Trim/Fascia/Soffit Condition

INS	NI	NP	RR	SC
X				

Materials: Wood, Metal & Vinyl • Smart Board

Observations:

- Trim relates to exterior areas of decorative surrounds and also eaves, soffits and fascia. Suggest sealing/caulking as part of routine maintenance to prevent deterioration.
- Suggest sealing/caulking as part of routine maintenance to prevent deterioration.
- Peeling paint observed, suggest scraping and painting as necessary, suggest caulking all penetration to prevent moisture entry.
- Hail damage noted to soft metal - cosmetic only and does not effect the performance.



Suggest sealing/caulking as part of routine maintenance to prevent deterioration.

6. Window/Frame Condition

INS	NI	NP	RR	SC
X				

Materials: Vinyl Frame • Mixture of window styles

Observations:

- The inspector is unable to determine if all double/triple glazed insulated windows in this property are completely intact and without compromised seals. Conditions indicating a broken seal are not always visible and may not be apparent or visible at the time of inspection. Changing conditions such as temperature, humidity, and lighting limit the ability of the inspector to visually review these windows for broken seals. For more complete information on the condition of all double/triple glazed windows, consult the seller prior to closing.
- All accessible windows in the home that are not fixed were tested by opening, closing and locking them. Issues with windows will be documented in the appropriate section of the report.

General comment on all windows - Condensation between the panes is common condition as the windows age over time. It is not always possible to observe signs of failing windows at certain times of the year or if the window is dirty. We recommend monitoring window conditions and address as and when seals start to fail.

Suggest sealing/caulking as part of routine maintenance to prevent deterioration.

Highly recommend operating all windows during final walk through.

- Keep window wells clean and clear for correct drainage
- Window well under pressure



Keep window wells clean and clear



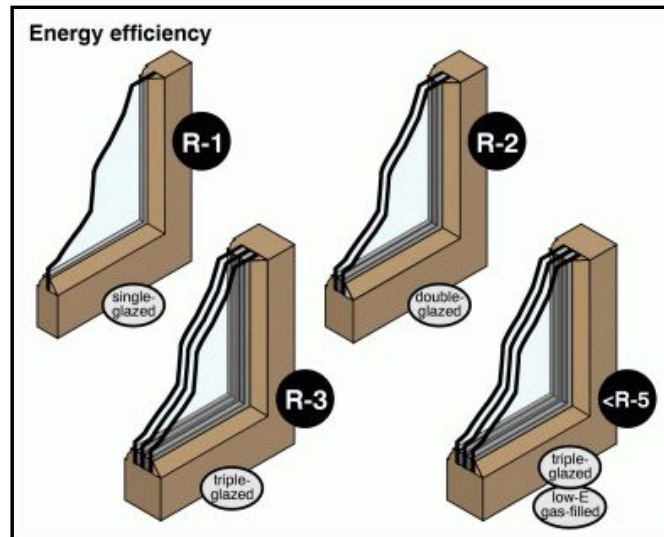
Window well under pressure



Add cap at weeping tile



Re sealing required at basement window - left side



7. Exterior Door Condition

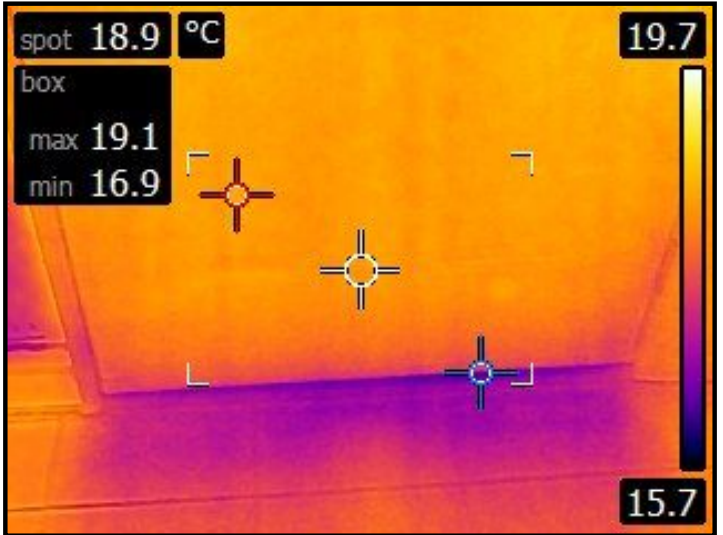
INS	NI	NP	RR	SC
X				

Materials: Metal Clad

Observations:

- Highly recommend replacing all weatherstripping and door sweeps, if and when required to reduce heat loss in the home. Adjusting lock sets at exit doors will allow the door to pull tighter to the weatherstripping reduce heat loss during the winter months. Maintain a good seal at all entry/exit doorways to prevent possible water damage to the sub floor. Unable to comment on condition beneath. Please note this is a visual inspection only, we can not comment on any concealed areas.





Front and rear locks are installed upside down



8. Gutter Condition

INS	NI	NP	RR	SC
x				

Materials: Metal

Observations:

- Correct drainage around the structure is very important to protect the home. Negligence of correct drainage may result in future moisture issues into the home. Suggest gutters be cleaned out as a part of a normal maintenance routine to ensure proper drainage. Recommend sealing seams at gutters where required to prevent leaking and aiding correct water flow and drainage. In dry periods it is not possible to tell if the gutters are correctly pitched. Keep extension pipes down during wet periods. Leaving extension pipes up will result in water ponding at foundation wall, possibly causing seepage. Comments made on current drainage are from visible conditions at the time of the inspection only.
- Hail damage noted to gutters - cosmetic only and does not effect the performance.
- Clogged gutters noted. Suggest gutters be cleaned out as a part of a normal maintenance routine to ensure proper drainage.





Clogged gutters noted. Suggest gutters be cleaned out as a part of a normal maintenance routine to ensure proper drainage.



Hail damage noted to gutters - cosmetic only and does not effect the performance.



Reshape as required



Re direct away from driveway

9. Fence Condition

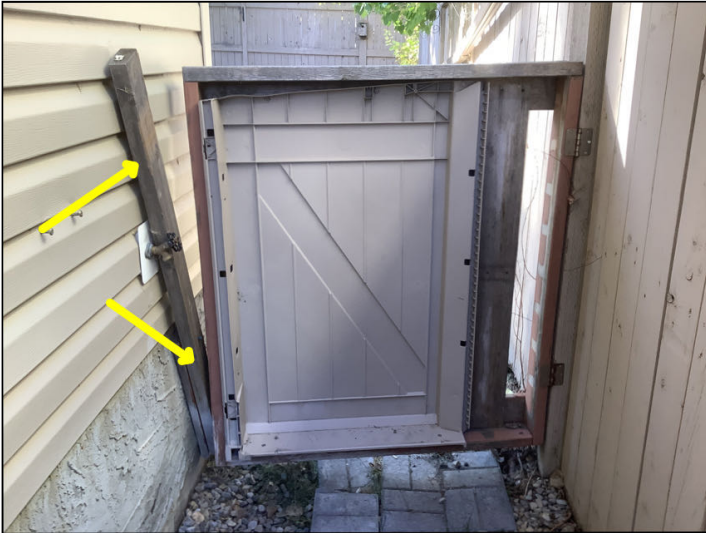
INS	NI	NP	RR	SC
x			x	

Materials: Wood

Observations:

- The fence is in serviceable condition at the time of inspection - Re sealing external wood will prolong its life span.
- Gate posts require attention to work correctly





Gate posts require attention to work correctly

10. Electrical Conditions

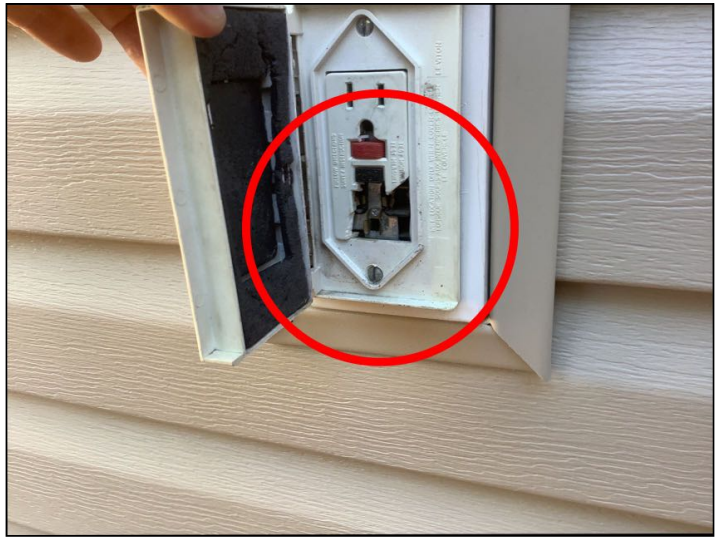
INS	NI	NP	RR	SC
X			X	X

Observations:

- GFCI in place and operational
- Rear receptacle is damaged. Suggest replacement asap for safety.



Garage lights - caps are missing - will allow rain into the units



Rear receptacle is damaged. Suggest replacement asap for safety.



Light caps in garage area



Soffit lights are not part of a home inspection - on the entire time - confirm where the on/off switch is located

11. Hose Bib Conditions

INS	NI	NP	RR	SC
x			x	

Location: Left Side • Right Side • Rear

Observations:

- During the months of Oct/Nov we strongly suggest you winterize all external faucets, to prevent freezing.

Winterizing

Step 1 -Locate all outside faucets. There is normally a separate shutoff valve inside for each outside faucet.

Step 2: Locate Inside Shutoff Valves- Locate shutoff valves inside for each outside faucet. Inside valves have similar handles but may be painted different colors. Inside valves will also have a small cap used for draining excess water from the pipe to the outside faucet.

Step 3: Turn Off Water- Turn off water at inside valves by turning handle clockwise. Next, open outside water faucets. Drain excess water inside by opening drain cap with pliers, holding pail underneath to catch water. When water stops draining, close drain cap and snug slightly (Do Not Over-tighten!) with pliers. Close outside water faucets.

It is not the home inspectors responsibility to locate shut offs for external faucets. Recommend asking the seller for the location of these.

- Never leave hoses attached to faucets during the winter.



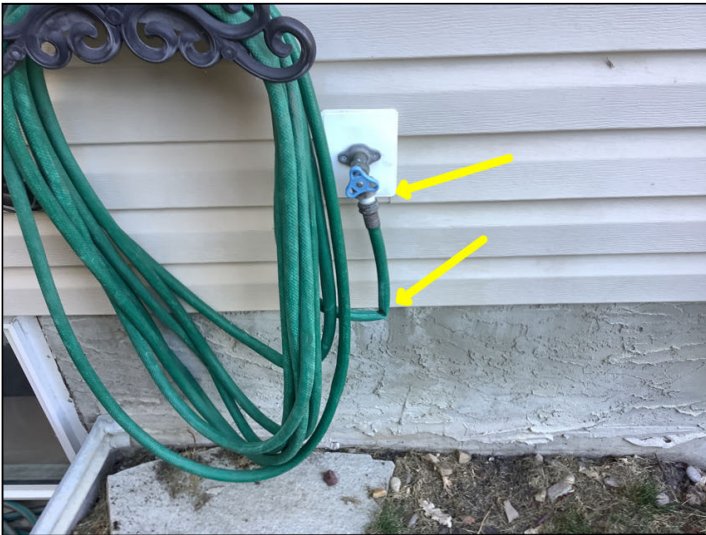


Tested and working as required

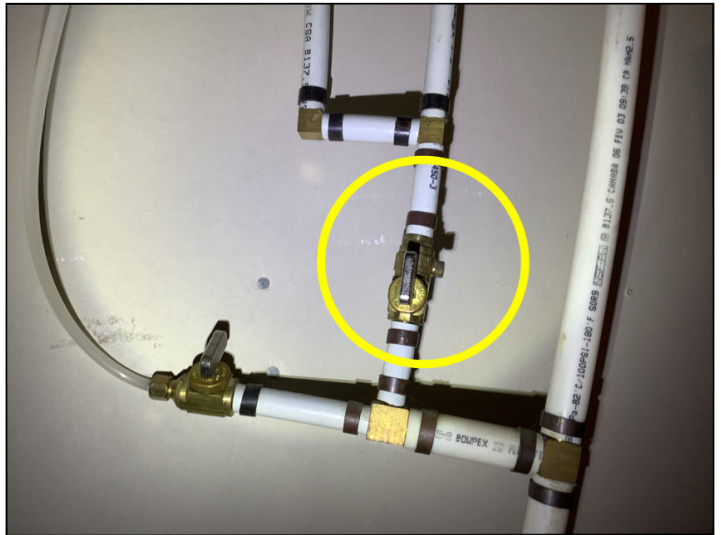


Rear faucet is missing one control





Never leave hoses attached to faucets during the winter.



During the months of Oct/Nov we strongly suggest you winterize all external faucets, to prevent freezing.

### Winterizing

Step 1 -Locate all outside faucets. There is normally a separate shutoff valve inside for each outside faucet.

Step 2: Locate Inside Shutoff Valves- Locate shutoff valves inside for each outside faucet. Inside valves have similar handles but may be painted different colors. Inside valves will also have a small cap used for draining excess water from the pipe to the outside faucet.

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It is not the home inspectors responsibility to locate shut offs for external faucets. Recommend asking the seller for the location of these.

12. Lot Grade and Drainage Conditions

INS	NI	NP	RR	SC
X			X	

Observations:

• While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot accurately predict the performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather. Inspection of the foundation performance and water handling systems is limited to visible conditions and evidence of past problems only where visible. Buyer is advised to ask of disclosure information about drainage failure in the past. Opinion of the lot grade around the home is only the view of the home inspector who is not a specialist but a generalist, so performance is unknown - for grading advice we suggest obtaining this prior to close. Grade may appear good during the inspection but the grades performance is unknown to the home inspector - we are unable to tell the make up of the soil below grade. We can not overstate the importance of efficient water management including proper grading away from the foundation walls and effective gutter/downspout placement and condition. Future conditions can not be predicted. Regular review of systems and annual maintenance is required to ensure all drainage systems are directing water away from the home. For correct drainage around the home all sides would slope away from the home, this assists in preventing water from sitting at the foundation wall.

- Flat Lot noted
- Lot grade is slightly higher in the rear, higher at the left
- Regrading where needed is recommended to assure all water drains away from the homes foundation at all times.
- Slightly negative in areas but not causing an issue on day of inspection
- **Adding dirt backfill to any low lying areas located around the foundation is recommended to ensure proper drainage away from the foundation at all times.**



Adding dirt backfill to any low lying areas located around the foundation is recommended to ensure proper drainage away from the foundation at all times.

13. Foundation Conditions

INS	NI	NP	RR	SC
X				

Type: Concrete/Parged

Observations:

- The foundation is inspected from accessible points at both the interior and exterior. It is very common for the view of the foundation to be very restricted. The view from the interior due to finish materials in the basement and the exterior due to snow or stored personal items. Comments are made of areas visible for inspection only.



Cracks noted - right side

14. Patio Conditions

INS	NI	NP	RR	SC
X				

Materials: Concrete

Observations:

- The patio is in serviceable condition at the time of inspection.

15. Deck Condition

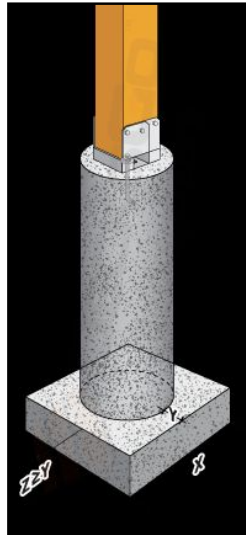
INS	NI	NP	RR	SC
X				

Materials: Wood

Observations:

- Deck in serviceable condition - ongoing maintenance suggested
- No way to determine depth of support posts. Insufficient depth can result in heaving due to frost.
- Unable to fully see the structure of the deck, it appears sturdy and secure but comments are limited due to this.





16. Stair Condition

INS	NI	NP	RR	SC
X				

Observations:

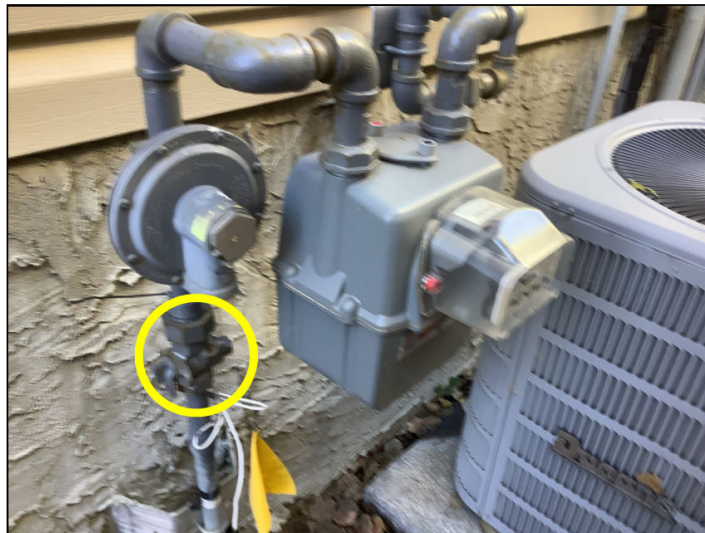
- Front -Stairs in good order and handrail present.
- Rear - Stairs in good order - there is no requirement for a hand rail.

17. Gas meter

INS	NI	NP	RR	SC
X				

Observations:

- Gas meter is on the Left, Right side of the home - this is the main gas shut off to the home



Main gas shut off to the home



18. General Exterior Comments

INS	NI	NP	RR	SC
X				

Observations:

- It is not the Inspector's responsibility to determine permits or boundaries for the home. Recommend ensuring correct permits are in place and that a compliant RPR is available. An effective water management program is required for all homes. This includes maintenance of all wooden components, caulking of all openings and ongoing vigilance of water handling systems, roof and flashing. Buyer is advised that while there may not be evidence of water intrusion into structure at time of inspection, **NO STATEMENT** referring to future performance can be made due to changing weather and structure conditions. Please be reminded this is not a code compliance inspection. The inspector is not required to have an exhaustive knowledge of, or quote code in any part of this report. Automatic sprinkler systems are not inspected or tested. These systems are beyond the scope of this inspection. We recommend further review by a qualified professional, if desired. Trees within the property lines can cause issues with roots, damaging foundation or underground pipes. As a visible inspection only we can not be held responsible for present or future issues. The inspector is not required, to identify asbestos, mold, environmental concerns or detect Chinese drywall.

- Please note all wood to soil contact areas will rot over time - ongoing maintenance is required.



All external wood requires regular maintenance



Keep swale free from debris



Please note all wood to soil contact areas will rot over time - ongoing maintenance is required.

## Roof

### 1. Methods Used to Inspect Roof

How Inspected: Roof was partially mounted - Lower roof only. • Observed from the ground with an inspection pole and remote camera. Comments made on the roof are of the **VISIBLE** areas only from ground level - all other areas are excluded from the report (damage such as hail is not always visible from ground level). If client would like a full mounted inspection of the roof we recommend contacting a certified roofing contractor. • Visually inspected from ground. Not mounted due to height/pitch making mounting of roof dangerous.

### 2. Roof Condition

INS	NI	NP	RR	SC
x			x	

Materials: Asphalt Shingles

Observations:

- Roof appeared in serviceable condition at the time of the inspection, age cannot be determined - No prediction of future performance or warranties can be offered.

- **Damaged areas noted - ridge caps are in poor condition in areas**





Damage at garage appears to be from roofers ladders



Lower Front Roof



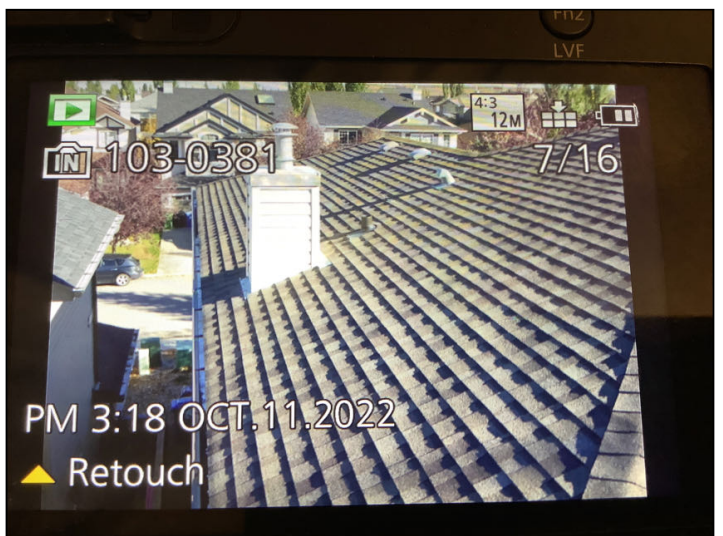
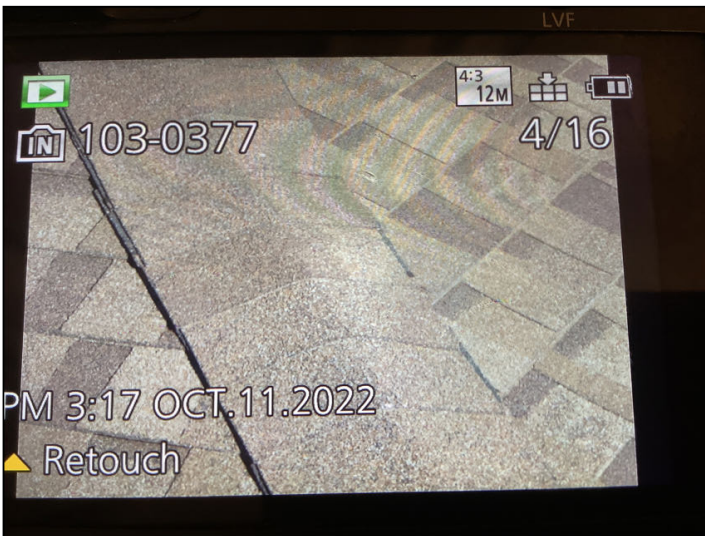
Garage Roof



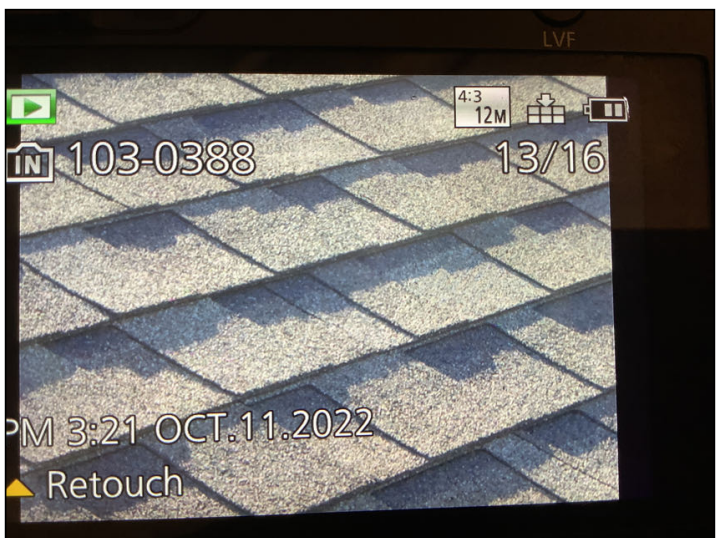
Garage Roof















3. Roof Flashing Condition

INS	NI	NP	RR	SC
x				

Materials: Metal • Covered by shingles - unable to see in all areas.

Observations:

- Flashing is fitted and appears in serviceable condition where visible.
- Drip edge flashing is not fitted. This does not appear to be affecting the performance of the roof system, however the condition of the sheathing materials should be monitored periodically for deterioration.



4. Condition/Comments

INS	NI	NP	RR	SC



5. Roof Comments

INS	NI	NP	RR	SC
X				

Observations:

- We do not give an estimation of life span and are unable to determine age as many factors can contribute to life span of roof coverings. Comments made on the roof are related to the **day of inspection only - a claim cannot be made for any deficiency occurring after the inspection date.** When access to the roof is deemed too dangerous, comments made about the roof are of the visible areas from ground level/ladders edge/interior - all other areas are excluded from the report. In the event a roof is deemed too dangerous to mount but a full inspection is required, we recommend contacting a roofing contractor for assessment prior to close.
- When a roof is deemed too dangerous to mount but a full inspection is required we recommend contacting a roofing contractor to assess prior to close.
- Comments made on the roof are of the visible areas only from ground level - all other areas are excluded from the report.

## Garage

1. Garage Roof Condition

INS	NI	NP	RR	SC
X			X	

Materials: Asphalt Shingles

Observations:

- Garage roof is in serviceable condition - damage from roofers ladders and heavier wear on ridge caps

2. Garage Exterior Conditions

INS	NI	NP	RR	SC
X				

Materials: Vinyl siding/Parging and Stone clad • Same as House

Observations:

- Suggest sealing/caulking as part of routine maintenance to prevent deterioration.

3. Gutter Condition

INS	NI	NP	RR	SC
X				

Materials: Metal

Observations:

- Suggest gutters be cleaned out as a part of a normal maintenance routine to ensure proper drainage.

4. Overhead Door Condition

INS	NI	NP	RR	SC
X			X	X

Materials: Metal

Observations:

- Weatherstripping does not create a good seal either side of the door
- Door arm - bracket is pulling away front the top of the door - immediate repair required - due to the condition I only opened once and did not test the auto reverse
- Garage door is rusting at the bottom



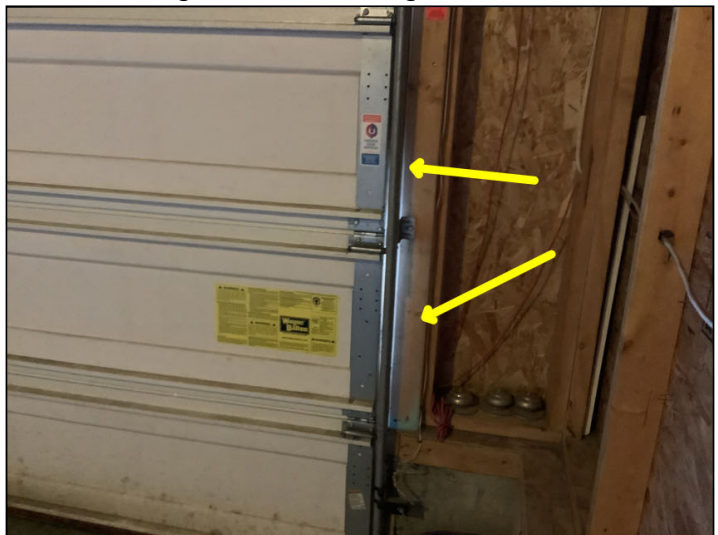
Door bracket is usually attached as shown



Garage door is rusting at the bottom

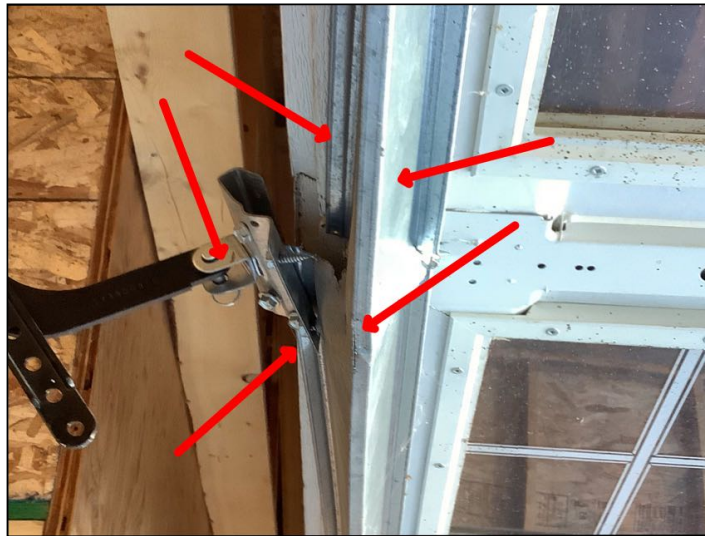


Weatherstripping does not create a good seal either side of the door



5. Overhead Door Hardware/Opener Condition

INS	NI	NP	RR	SC
X				



Door arm - bracket is pulling away front the top of the door - immediate repair required - due to the condition I only opened once and did not test the auto reverse

6. Exterior Door Condition

INS	NI	NP	RR	SC
		X		

Materials: No external door in garage.

7. Floor Condition

INS	NI	NP	RR	SC
X				

Observations:

- Garage floor in serviceable condition - adding parking mats to slab can help prevent concrete damage to floors due to calcium chloride/water causing spalling.
- Cracks noted - This is common settlement and no reason for concern. Dry at the time of the inspection.

8. Walls/Ceiling Condition

INS	NI	NP	RR	SC
X				

Observations:

- Dry at the time of the inspection, walls/ceiling in serviceable condition.

9. Garage Electrical Condition

INS	NI	NP	RR	SC
X				

Observations:

- Accessible electrical outlets were tested for faults - No issues to report.

10. Fire Wall/Door

INS	NI	NP	RR	SC
X			X	

Observations:

- Wall appears to be in serviceable condition - due to the nature of the construction we are unable to confirm if this wall is fire rated or not. It was note code for firewalls to be mudded and taped until 2009. Recommend mudding and taping as required.





Top lock installed upside down

11. Garage Comments

INS	NI	NP	RR	SC
X				

Observations:

- No major issues to report in garage area on day of inspection.
- Handrail is required where 3 or more stairs are in place



Handrail is required where 3 or more stairs are in place

# Living Room

## 1. Floor Condition

INS	NI	NP	RR	SC
X				



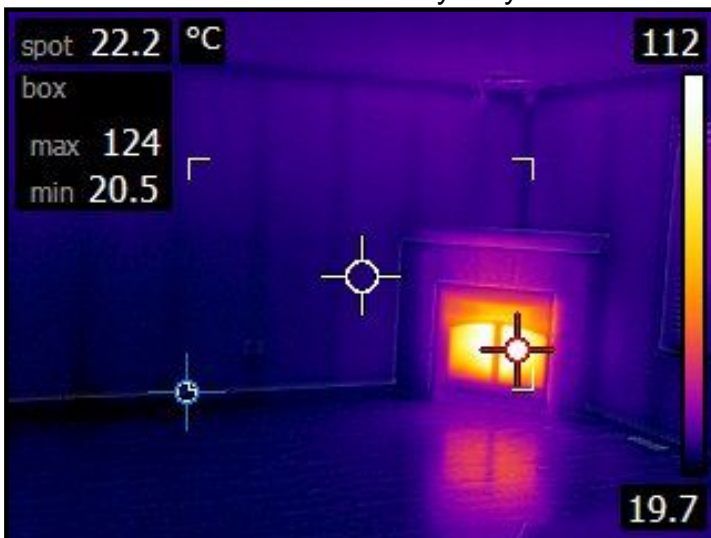
Living Room

## 2. Walls/Ceiling Condition

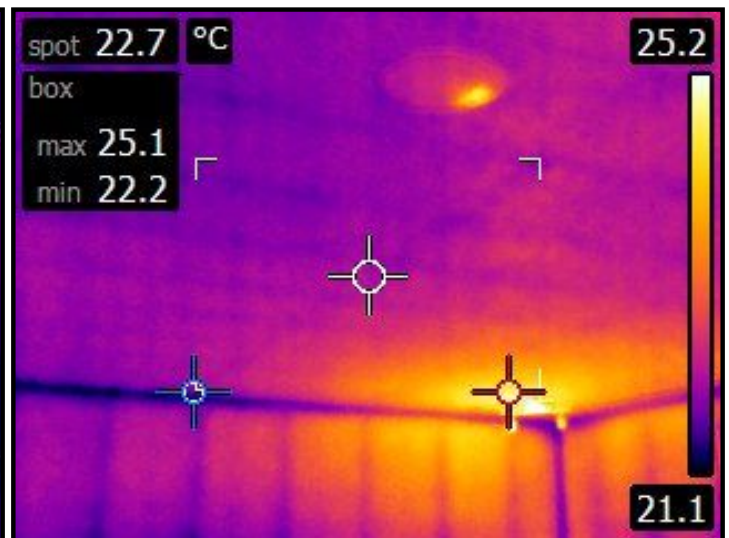
INS	NI	NP	RR	SC
X				

### Observations:

- All walls/ceilings were in serviceable condition and dry at the time of the inspection. Walls and ceilings were also thermal scanned. Any issues will be documented in the appropriate section of the report. Please note, cosmetic issues are not part of the inspection and if included are included as a courtesy only.



Living Room - Thermal Image



Living Room Ceiling - Thermal Image

3. Window Condition

INS	NI	NP	RR	SC
X				

Observations:

- Living room windows were tested (opened unless fixed). All worked as required. Highly recommend operating all windows during final walk through. Keep condensation off all sills and trim (especially wood) to reduce the risk of water damage. Please note this is a visual inspection only, we cannot comment beyond finished areas

4. Electrical Conditions

INS	NI	NP	RR	SC
X				

Observations:

- All accessible receptacles and switches worked as required on the day of the inspection.
- Missing cover plates observed, suggest installing for safety.



One receptacle requires attention in living room

5. Other Interior Area Comments

INS	NI	NP	RR	SC
X				

Observations:

- The living room was fully inspected and all areas were in serviceable condition unless otherwise noted.

## Fireplace

1. Fireplace Location

Location: The fireplace is located in the Living Room.

2. Fireplace Style

Style: Gas Direct vent - It can only be assumed that this appliance was installed to manufacturer's specifications.

3. Fireplace Comments

INS	NI	NP	RR	SC
X				

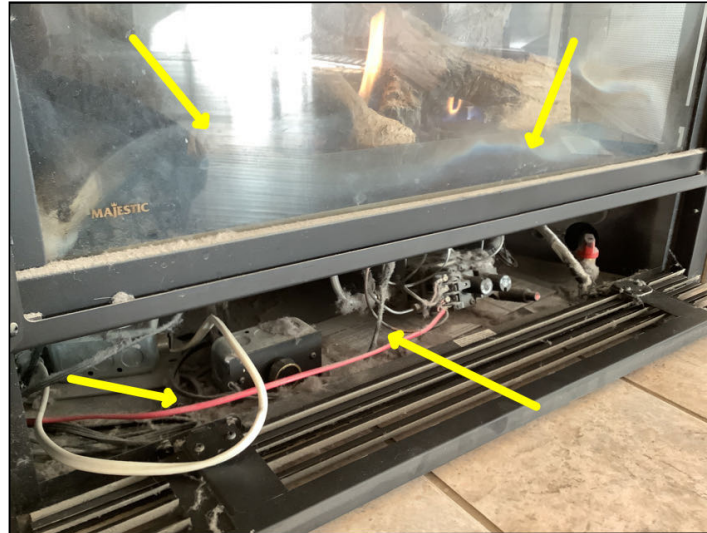
Observations:

- The fireplace was tested and was serviceable at time of inspection
- Fan noted under fireplace - This was tested and worked as required.





Re grouting required - damage tile noted



Suggest cleaning under the fireplace and the glass - service suggested

## Kitchen/Dining Area

### 1. Kitchen Floor Observations

INS	NI	NP	RR	SC
x				

**Observations:**

- Flooring appears to be in serviceable condition - cosmetic chips noted



Kitchen Area



Dining Area

2. Kitchen Walls/Ceiling Conditions

INS	NI	NP	RR	SC
x				

Observations:

- All walls/ceilings were in serviceable condition and dry at the time of the inspection. Walls and ceilings were also thermal scanned. Any issues will be documented in the appropriate section of the report. Please note, cosmetic issues are not part of the inspection and if included are included as a courtesy only.
- Stain noted, dry during thermal scan, in some cases the stain can be removed using 10 parts water 1 part bleach and sponging area.



Stain noted - dry during thermal scan - suggest monitoring

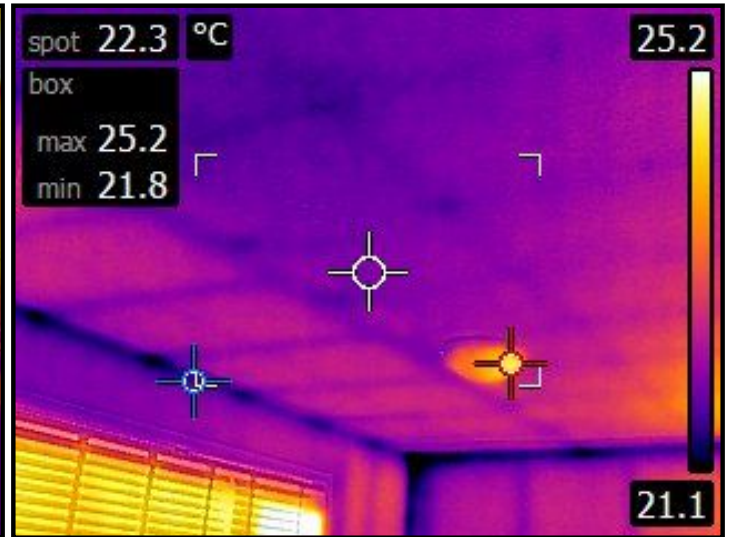


Stains show as dry after running water above





Dining Area - Thermal Image



Dining Area Ceiling - Thermal Image



Kitchen Area - Thermal Image



Kitchen Area Ceiling - Thermal Image



Pantry Area Ceiling - Thermal Image

3. Kitchen Window observations

INS	NI	NP	RR	SC
X				

Observations:

- Window opened to test unless fixed. All working as required.

4. Kitchen Electrical Condition

INS	NI	NP	RR	SC
X			X	

Observations:

- Left of stove - Top receptacle has no power



Left of stove - Top receptacle has no power



Secure loose receptacles

5. Kitchen Cabinet Condition

INS	NI	NP	RR	SC
X				

Observations:

- Cabinets were secure and all doors and drawers tested for damage or problems.

6. Kitchen Counter Top Condition

INS	NI	NP	RR	SC
X				

Observations:

- Counter tops and cabinets are in serviceable condition - wear noted in areas



7. Sink/Faucet Condition

INS	NI	NP	RR	SC
X			X	

Observations:

- No issues to report water was run to test.
- Faucet is loose - Recommend securing.



Faucet is loose - Recommend securing.

8. Traps/Drains/Supply Condition

INS	NI	NP	RR	SC
X			X	

Observations:

- No leaks at traps or drains, water was run for some time to fully test for problems - a leak can develop at any time.
- **Very strange plumbing configuration under the sink - no venting - suggest plumber assess**



Very strange plumbing configuration under the sink - no venting - suggest plumber assess



No leaks at traps or drains, water was run for some time to fully test for problems - a leak can develop at any time.

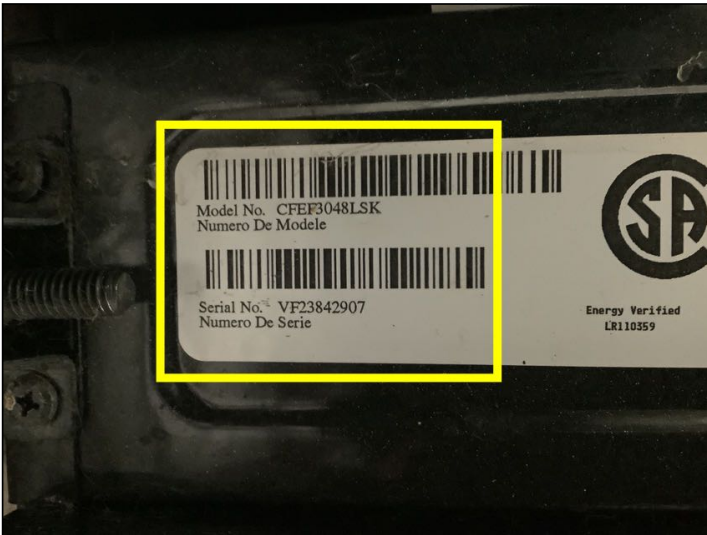
9. Stove/Oven Conditions

INS	NI	NP	RR	SC
X				

Style: Electric

Observations:

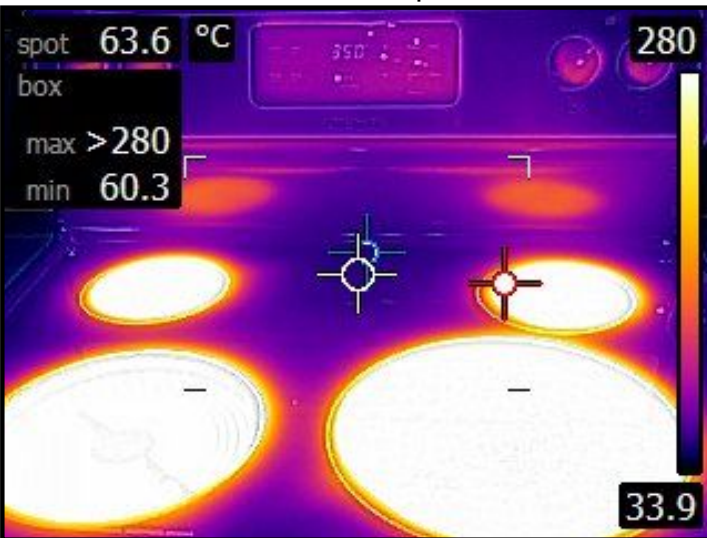
- The electrical stove/range elements were tested at the time of inspection and appeared to function properly. These can fail at anytime without warning. No warranty, guarantee, or certification is given as to future failure - Typical life span is 10 years.
- The electric oven elements were tested at the time of inspection and appeared to function properly. These can fail at anytime without warning. No warranty, guarantee, or certification is given as to future failures.



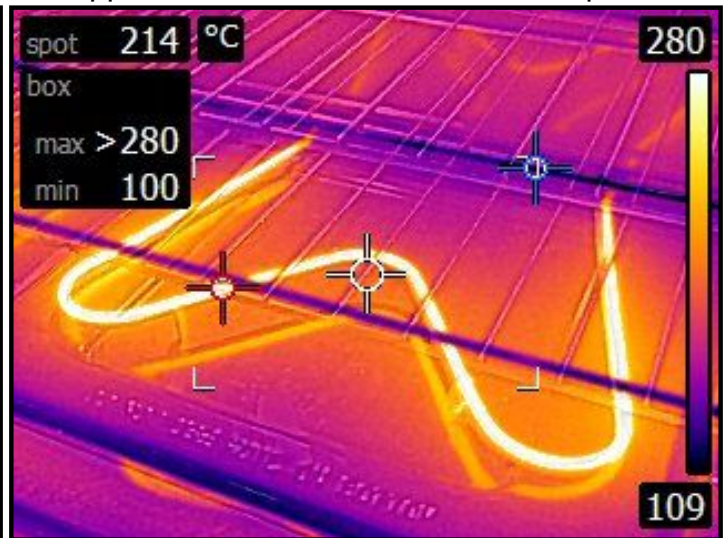
Manufactures plate



Appliances tested and worked as required



Stove elements working as required.



Oven element working as required.





Broil element working as required.

10. Garbage Disposal

INS	NI	NP	RR	SC
X			X	

Observations:

- The garburator was tested using running water only - Functional on day of inspection but noisy.



Dishwasher empties into the sinkerator

11. Dishwasher Condition

INS	NI	NP	RR	SC
X				

Observations:

- Dishwashers are run on a short cycle to check for leaking - we cannot determine performance or reliability or check every cycle - typical life span 10 years



Manufactures plate



Thermal image showing no leaks after full cycle

12. Hood Fan Condition

INS	NI	NP	RR	SC
x				

Exterior Vented  
Observations:

- Tested and working as required - Recommend cleaning filter regularly as part of general maintenance.
- Hood fan appears to be externally vented, but air is being forced out of the vent at the front - as the cover is missing



Hood fan appears to be externally vented, but air is being forced out of the vent at the front - as the cover is missing

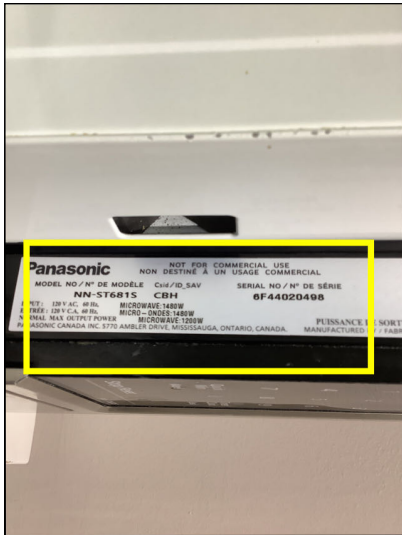
13. Microwave

INS	NI	NP	RR	SC
x				

Observations:

- Microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection, no guarantees can be given.





Manufactures plate



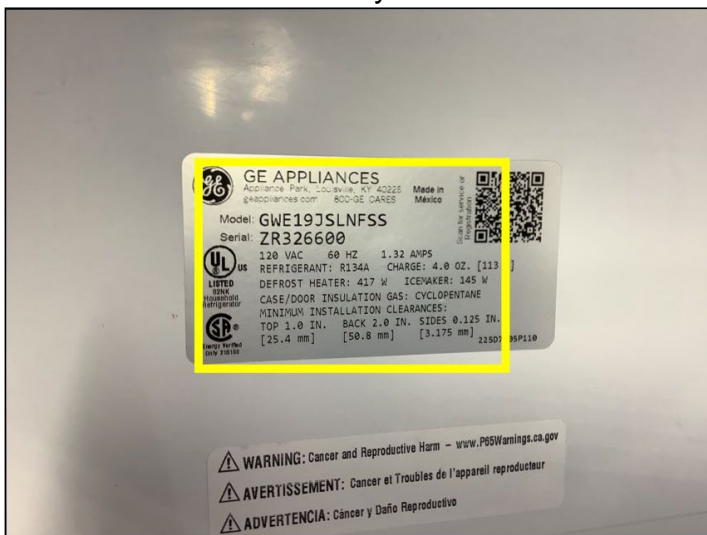
Tested and working as required

14. Refrigerator

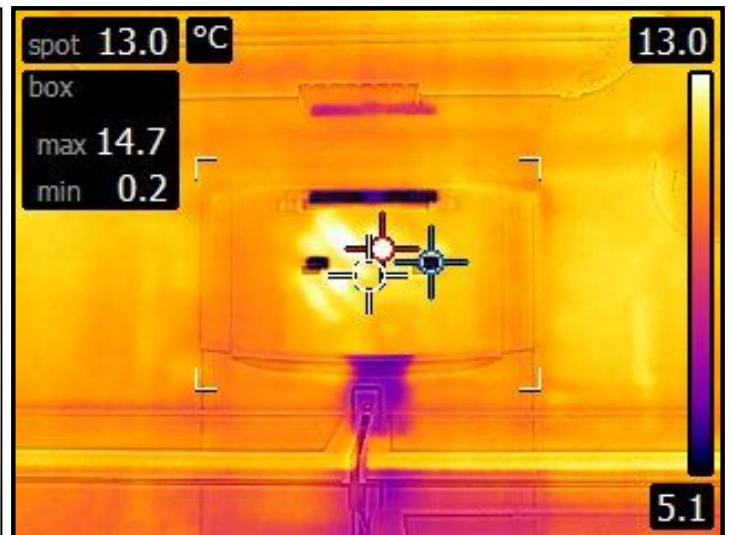
INS	NI	NP	RR	SC
x				

Observations:

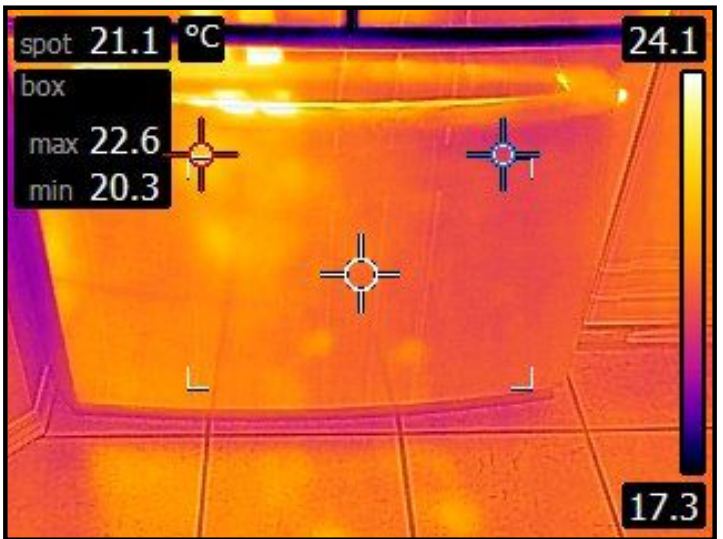
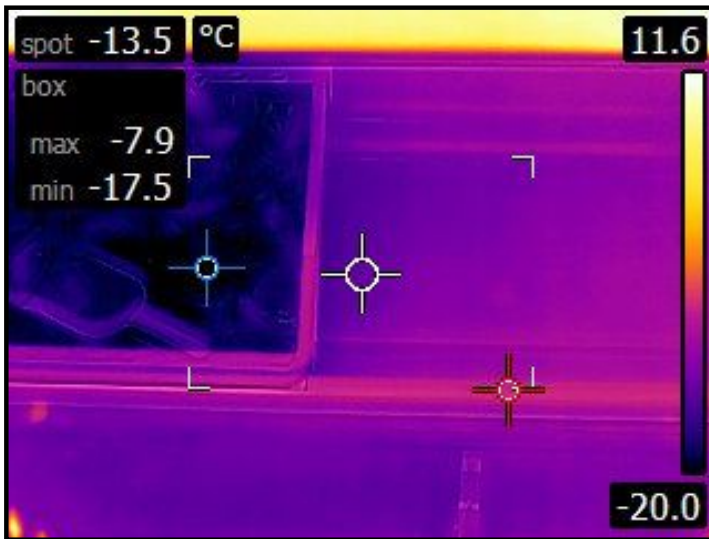
• Refrigerators - Our inspection of this item is purely to see if the internal walls are cold. Please note we do not use any special equipment to test these items. Also, we DO NOT test water hook ups, supply lines to the fridge should be braded. No guarantees are given by the home inspector on appliances within the home as they can fail at any time - Life span typically 10 years.



Manufactures plate



Thermal Image of refrigerator working as required



Thermal Image of freezer working as required

15. Kitchen Comments

INS	NI	NP	RR	SC
X				

Observations:

- All visual areas of the kitchen were inspected to find potential faults, all notable issues found will be documented. Appliances are all run and tested - these can fail at anytime - future performance is not guaranteed - typically appliances last approximately 10 years.
- Damage tile - sink area



Damage tile - sink area

## Laundry Area

1. Flooring

INS	NI	NP	RR	SC
X				

Observations:

- Flooring appears to be in serviceable condition.
- There is no floor drain visible. As the washer is on an upper level we suggest adding a washer tray in case of leaking.

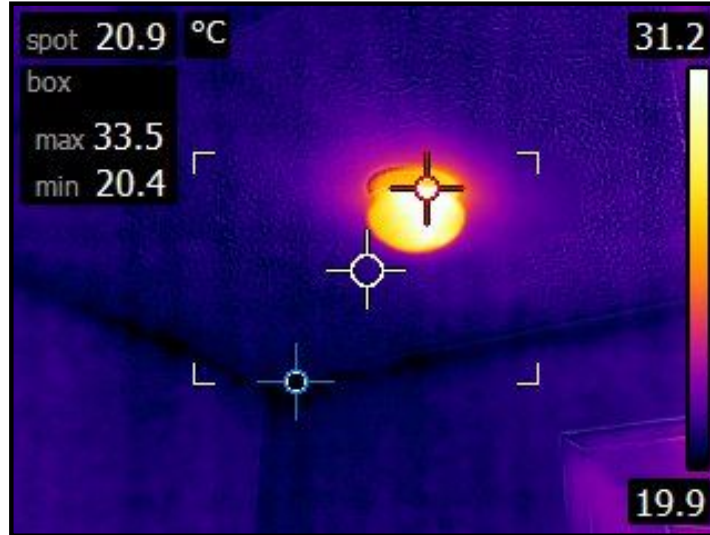


2. Walls/Ceiling Condition

INS	NI	NP	RR	SC
X				

Observations:

- All walls/ceilings were in serviceable condition and dry at the time of the inspection. Walls and ceilings were also thermal scanned. Any issues will be documented in the appropriate section of the report. Please note, cosmetic issues are not part of the inspection and if included are included as a courtesy only.



Laundry Area Ceiling - Thermal Image

3. Cabinet/Shelving Condition

INS	NI	NP	RR	SC
X				

Observations:

- Shelves are secure and in serviceable condition.

4. Laundry Door Condition

INS	NI	NP	RR	SC
X				

Observations:

- Door tested and worked as required.

5. Washing Machine

INS	NI	NP	RR	SC
X				

Observations:

- The washing machine was operated on a short cycle to test for leaks. It worked as required on the day of the inspection. This test does not assess it's performance or ability to wash clothes effectively or to determine if each cycle works.
- Washer hook ups observed. We do not disconnect the supply hoses to the washer, nor do we operate the valves. These can leak at any time. Suggest replacing rubber supply hoses with steel braided supply lines to prevent leaks over time due to hose deterioration.
- Performance of appliances cannot be determined or if all cycles function correctly.



Manufactures plate



Washer/dryer tested and working as required



Appliances scanned for leaks - no issues to report

### 6. Clothes Dryer

INS	NI	NP	RR	SC
x				

**Observations:**

- The dryer was tested on a short cycle and worked as required - Suggest dryer vents should be kept clean and clear. Dryer vents often clog with lint - The inspector is unable to see inside the line to determine blockages, or exit destination. This short test does not assess the machine for its performance or if all the cycles work.
- The dryer was full of the owners clothes at the time of inspection and for this reason it was only tested by turning it on to run and then off again quickly - Suggest dryer vents should be kept clean and clear. Dryer vents often clog with lint - The inspector is unable to see inside the line to determine blockages, or exit destination. This short test does not assess the machine for its performance or if all the cycles work.
- We are unable to confirm if the dryer venting meets current standards. Even some vents that appear to be aluminum on the outside have a plastic liner.
- Dryer vents often clog with lint - The inspector is unable to see inside the line to determine blockages, or exit destination.
- Unable to access the venting for inspection.





Manufactures plate

### 7. Laundry Comments

INS	NI	NP	RR	SC
x				

**Observations:**

- Appliances were run to test and worked as required, these can fail at anytime, no warranties or guarantees are given on any appliances in the home.

## Other Interior Areas

### 1. Floor Condition

INS	NI	NP	RR	SC
x				

**Observations:**

- Flooring appears to be in serviceable condition.



Office/Study



Mud Room



Bonus Room



Basement Rec Room



Storage Room

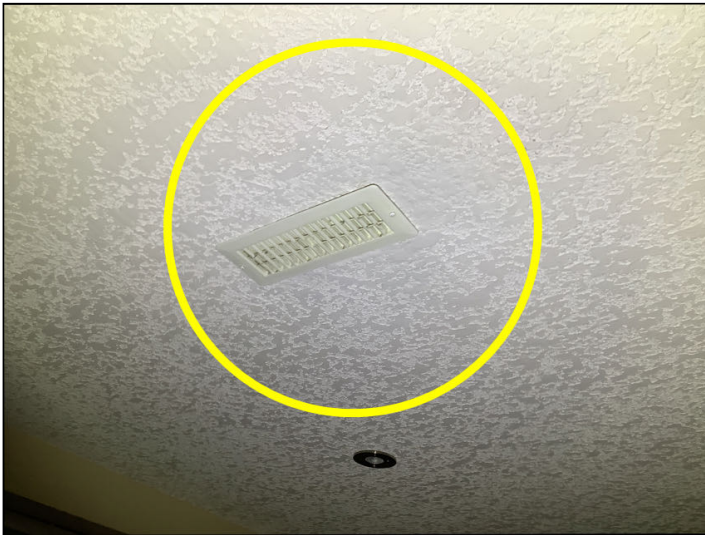
2. Walls/Ceiling Condition

INS	NI	NP	RR	SC
X				

Observations:

• All walls/ceilings were in serviceable condition and dry at the time of the inspection. Walls and ceilings were also thermal scanned. Any issues will be documented in the appropriate section of the report. Please note, cosmetic issues are not part of the inspection and if included are included as a courtesy only.

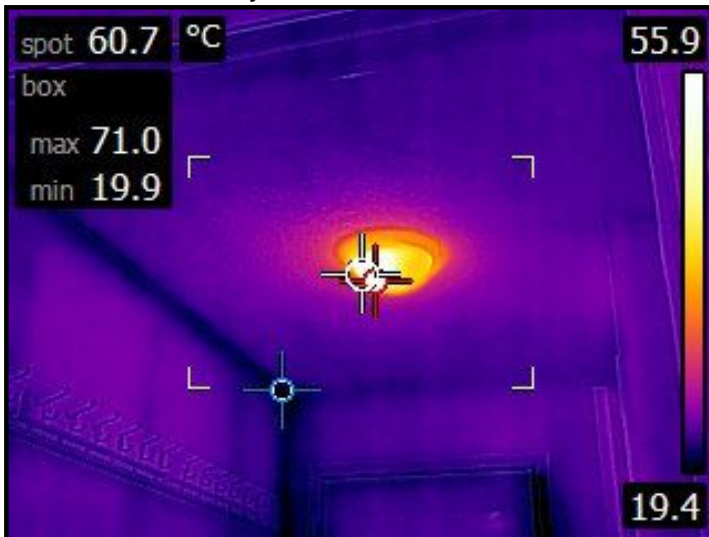




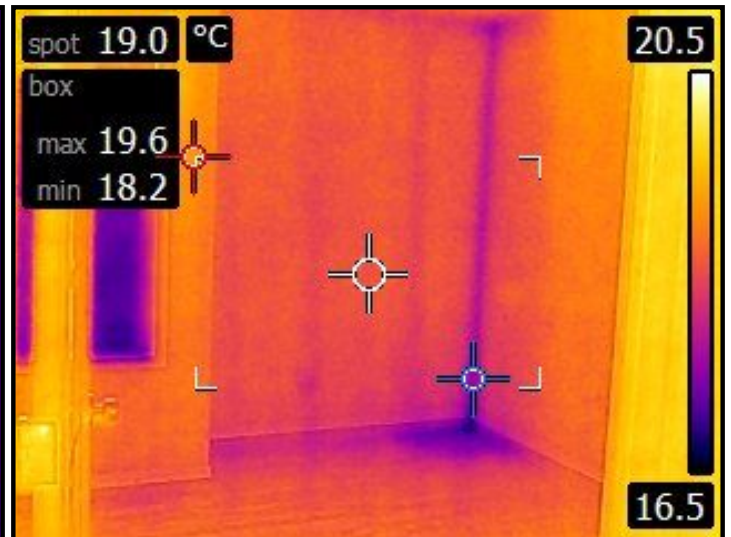
Repair to basement rec room ceiling showed as dry on thermal scan



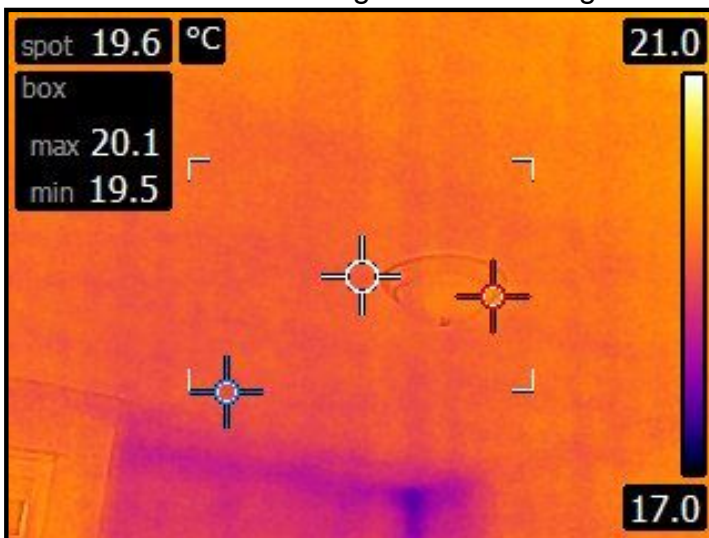
Mud Room - Thermal Image



Mud Room Ceiling - Thermal Image



Office/Study - Thermal Image



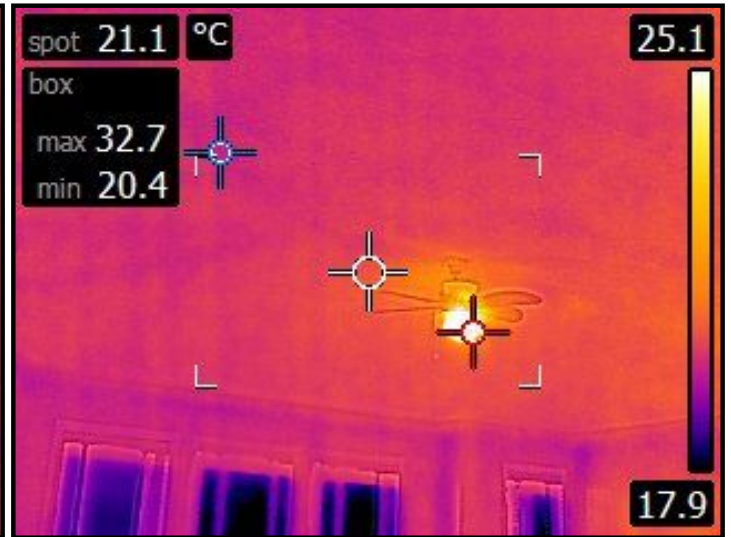
Office/Study Ceiling - Thermal Image



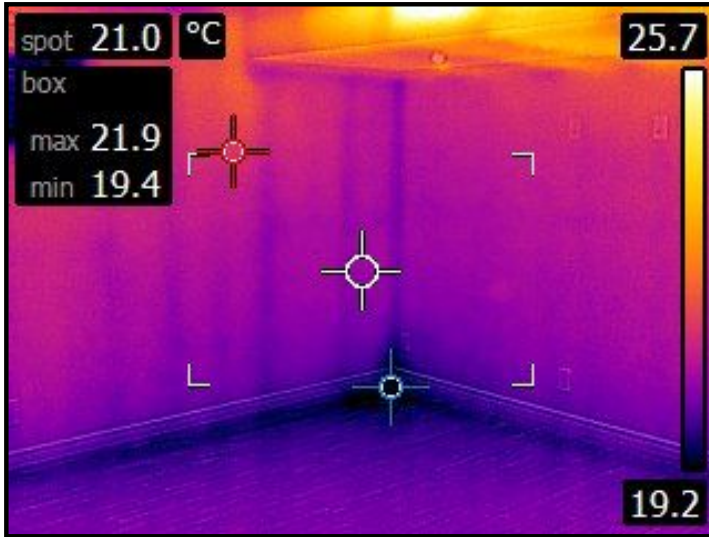




Bonus Room - Thermal Image



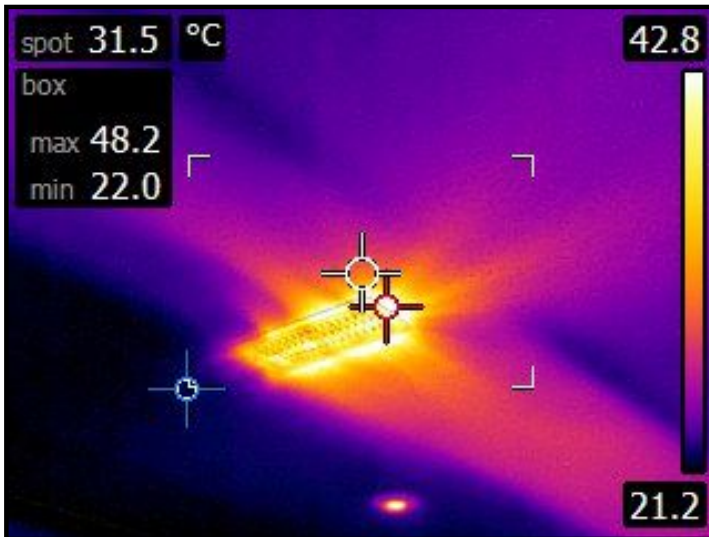
Bonus Room Ceiling - Thermal Image



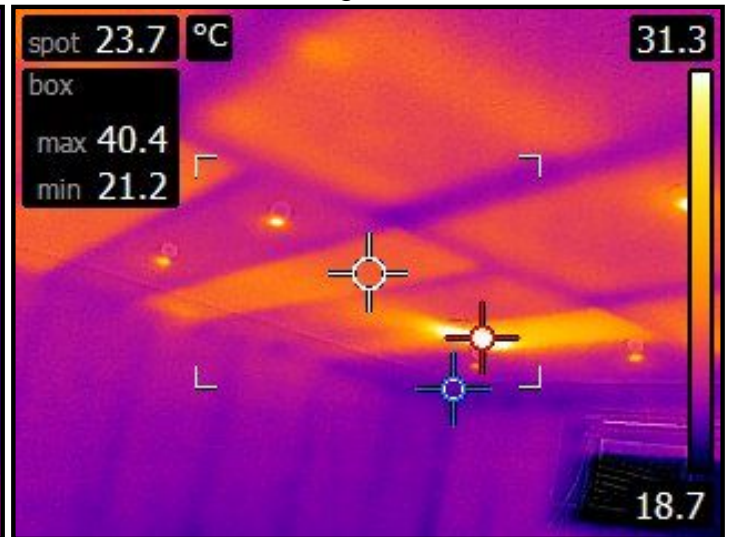
Basement Rec Room - Thermal Image



No major causes for concern below grade observed during the thermal scan.

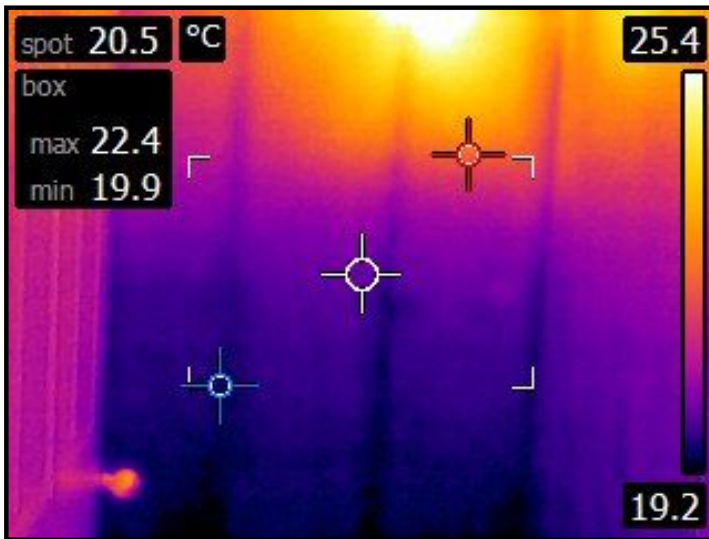


Basement Rec Room - No issues at area of repair

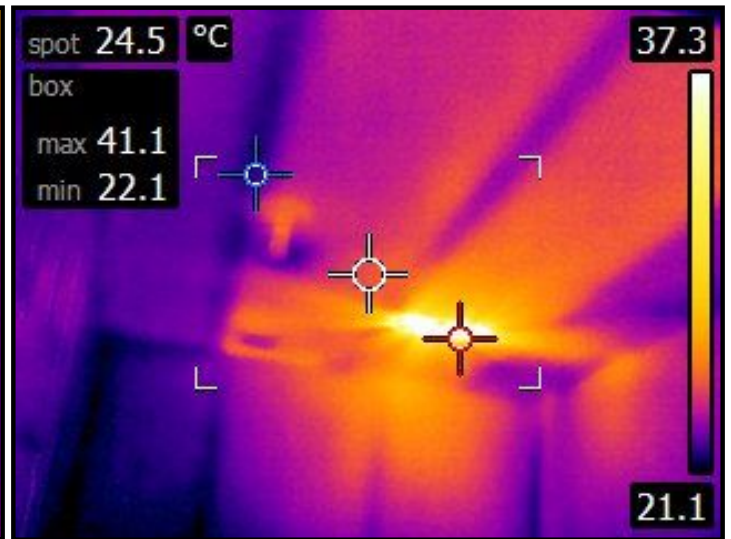


Basement Rec Room Ceiling - Thermal Image





Storage Room - Thermal Image



Sitting Room Ceiling - Thermal Image

### 3. Door Conditions

INS	NI	NP	RR	SC
x				

Observations:

- Doors were tested and in serviceable working order.

### 4. Window Condition

INS	NI	NP	RR	SC
x			x	

Observations:

- All windows were tested (opened, unless fixed) and all worked as required unless otherwise noted. Please note blinds, window coverings and screens are not part of the home inspection. Keep condensation off all sills and trim (especially wood) to reduce the risk of water damage. Please note this is a visual inspection only, we cannot comment beyond finished areas.

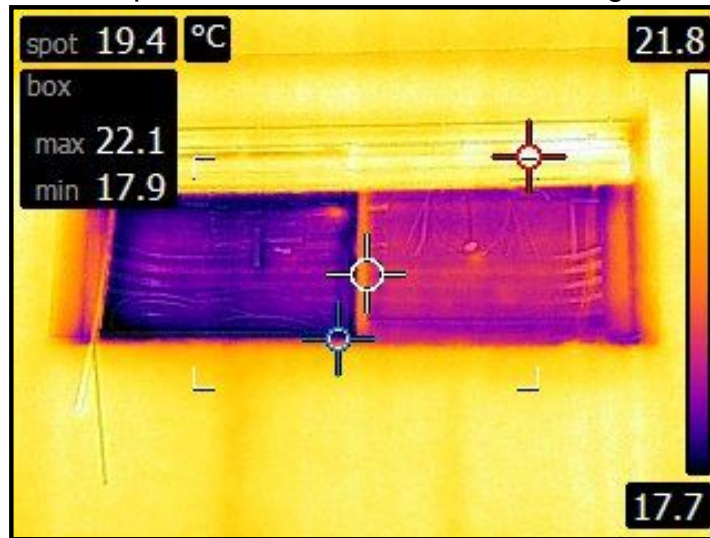
General comment on all windows- Condensation between the panes is common condition as the windows age over time. It is not always possible to observe signs of failing windows at certain times of the year or weather conditions. We recommend monitoring window conditions and address as and when seals start to fail.

- Windows were tested (opened unless fixed) Some require attention to work correctly - see photo
- Peeling paint observed, suggest scraping and painting as necessary.
- Damaged screens observed.
- **Bonus Room - Window crank requires attention**



Bonus Room - Window crank requires attention

Damaged screens observed.



All good on thermal scan at window/s on day of inspection

5. Electrical Conditions

INS	NI	NP	RR	SC
X				

Observations:

- Receptacles are tested for wiring faults - None on day of inspection.

6. Wet Bar Conditions

INS	NI	NP	RR	SC
X				

Materials: Basement rec room

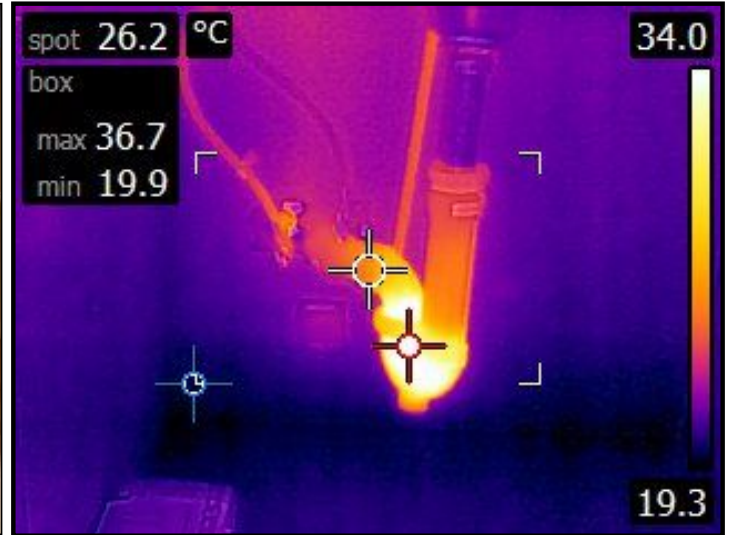
Observations:

- GFCI receptacle observed near the sink, worked on testing - resets in the bathroom

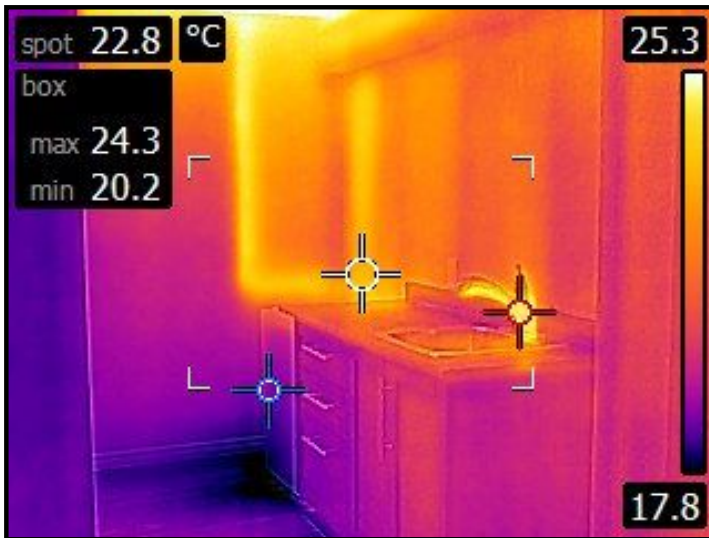




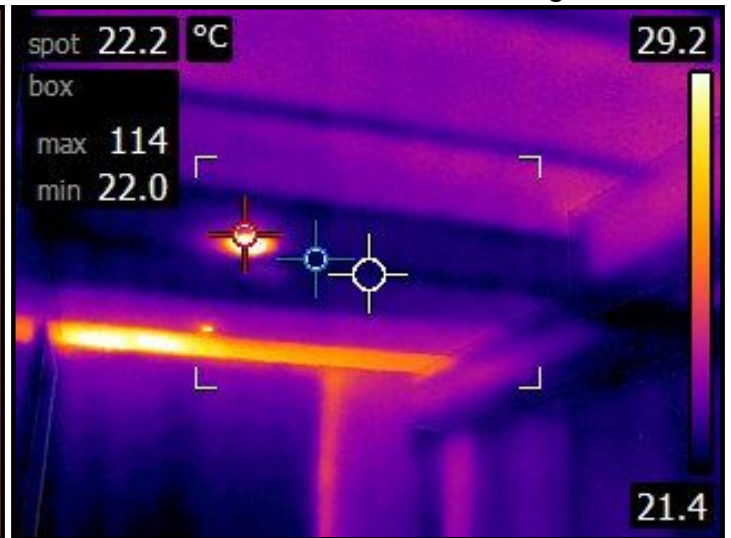
Wet Bar



Wet Bar Sink - Thermal Image



Wet Bar - Thermal Image



Wet Bar Ceiling - Thermal Image

7. Stair Conditions

INS	NI	NP	RR	SC
X				

Observations:

- The stairs to upper level were secure and a hand rail was present.
- There are so many cosmetic issues in the home - poorly installed trim, home is very poorly painted.

8. Comments

INS	NI	NP	RR	SC
X				

Observations:

- This comment is regarding the entire home: Any issues obscured by personal storage, furniture, rugs or any other items covering problems are excluded from the inspector's responsibility as this a visual inspection only. Please note - Infrared Thermal Imaging has its limitations, certain surfaces will limit what is visible to the thermographer. Please be reminded that this is a non-invasive visual inspection. Minor cosmetic issues, marks, scuffs, normal wear and tear are not within the scope of this inspection as it focuses on basic structure and major systems only. Other interior areas are all inspected fully for areas of concern. No major problems found unless otherwise noted. The inspector is not required, to identify asbestos, mold, environmental concerns or detect Chinese drywall.
- Central Vac - Rough in only
- There are no cold air returns in the basement - without sufficient return air flow you may have inadequate (and insufficient) airflow.

## Bedrooms

1. Floor Condition

INS	NI	NP	RR	SC
X				

Observations:

- Flooring appears to be in serviceable condition - minor cosmetic issues noted



Primary Bedroom



Bedroom 2





Bedroom 3



Flooring appears to be in serviceable condition - minor cosmetic issues noted



Basement Bedroom



Basement Bedroom 2

2. Walls/Ceilings Condition

INS	NI	NP	RR	SC
x				

Observations:

- All walls/ceilings were in serviceable condition and dry at the time of the inspection. Walls and ceilings were also thermal scanned. Any issues will be documented in the appropriate section of the report. Please note, cosmetic issues are not part of the inspection and if included are included as a courtesy only.
- Cosmetic damage noted at bedroom ceilings
- Stain noted, dry during thermal scan, in some cases the stain can be removed using 10 parts water 1 part bleach and sponging area.
- Drywall pops occur usually from the studs drying and twisting. The cure is simple, re screw above and below the "pop" within 1 inch, turn the old screw in by hand, then mud.
- Hole cut in basement bedroom 1 appears to be for access for electrical box (should be sealed) also where the builders cold air return was prior to basement renovation. The cold air return is too closed in to be functional.



Cosmetic damage noted at bedroom ceilings



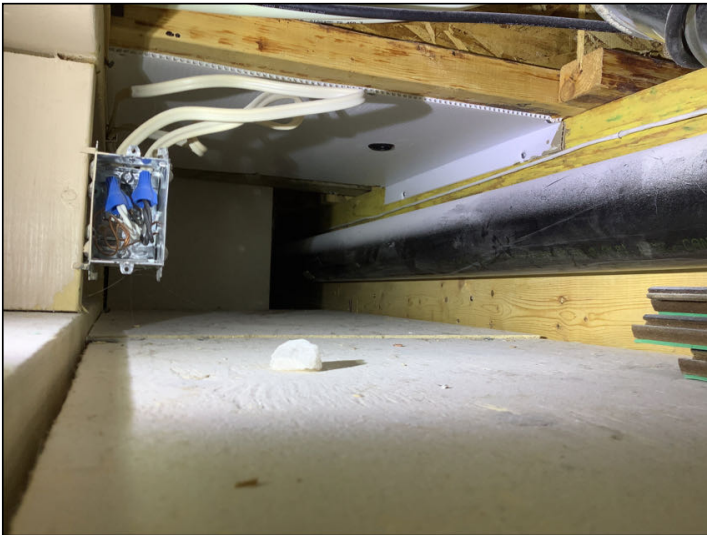
Primary - Stain noted, dry during thermal scan, in some cases the stain can be removed using 10 parts water 1 part bleach and sponging area.



Drywall pops occur usually from the studs drying and twisting. The cure is simple, re screw above and below the "pop" within 1 inch, turn the old screw in by hand, then mud.



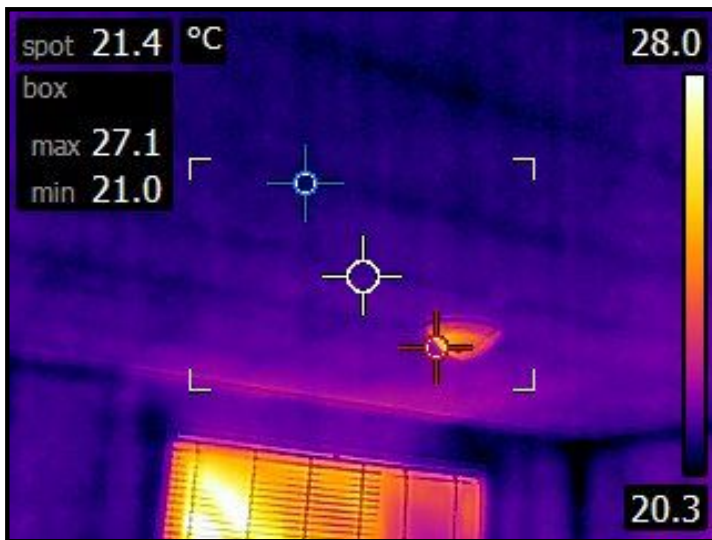




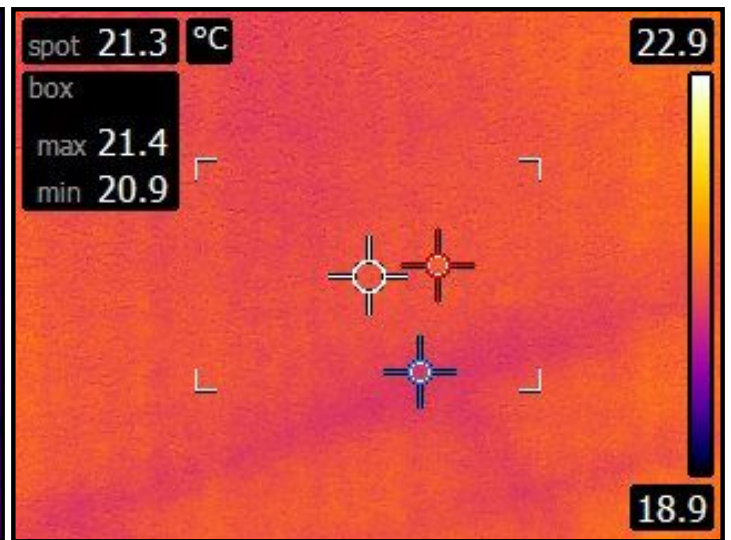
Hole cut in basement bedroom 1 appears to be for access for electrical box (should be sealed) also where the builders cold air return was prior to basement renovation. The cold air return is too closed in to be functional.



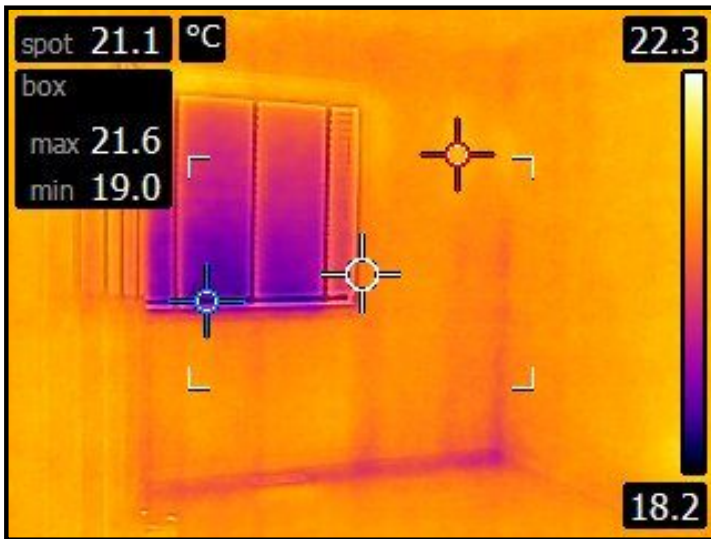
Primary Bedroom - Thermal Image



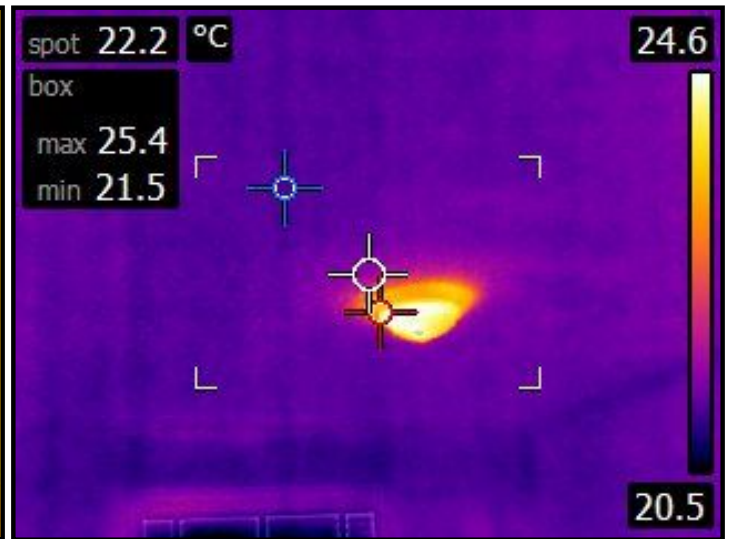
Primary Bedroom Ceiling - Thermal Image



Dry at stain in primary bedroom



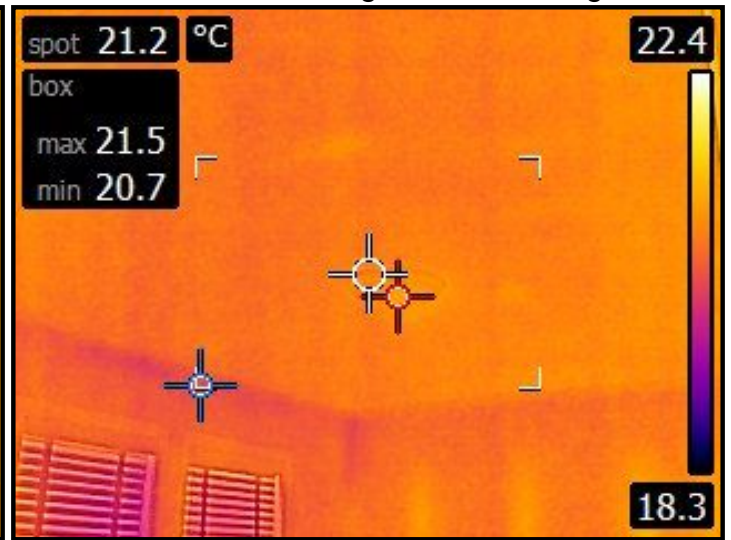
Bedroom 2 - Thermal Image



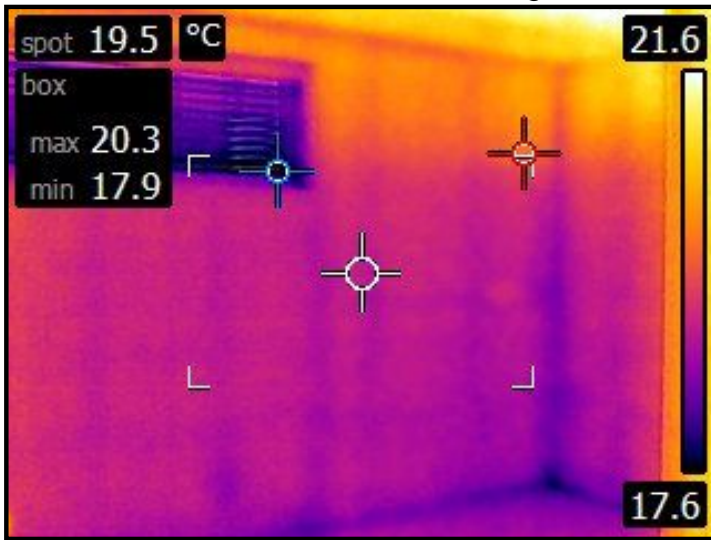
Bedroom 2 Ceiling - Thermal Image



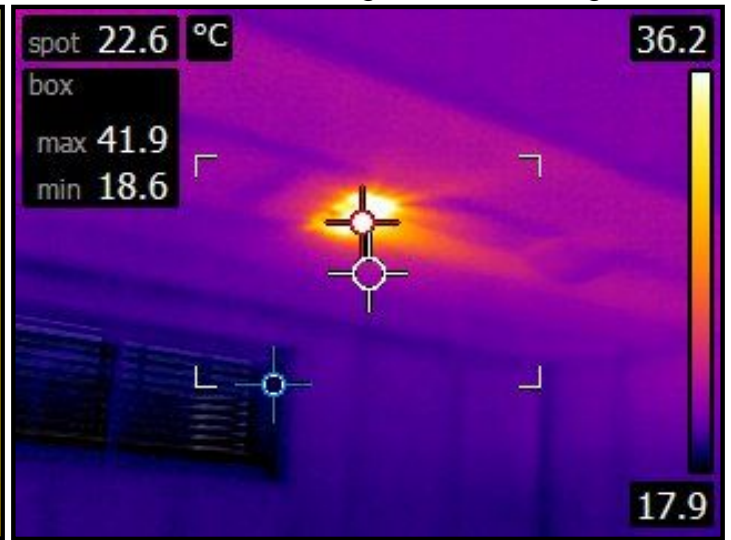
Bedroom 3 - Thermal Image



Bedroom 3 Ceiling - Thermal Image

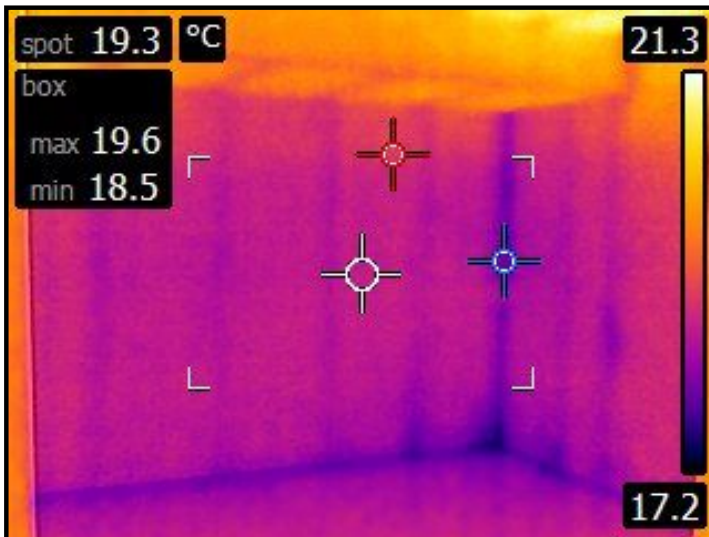


Basement Bedroom - Thermal Image

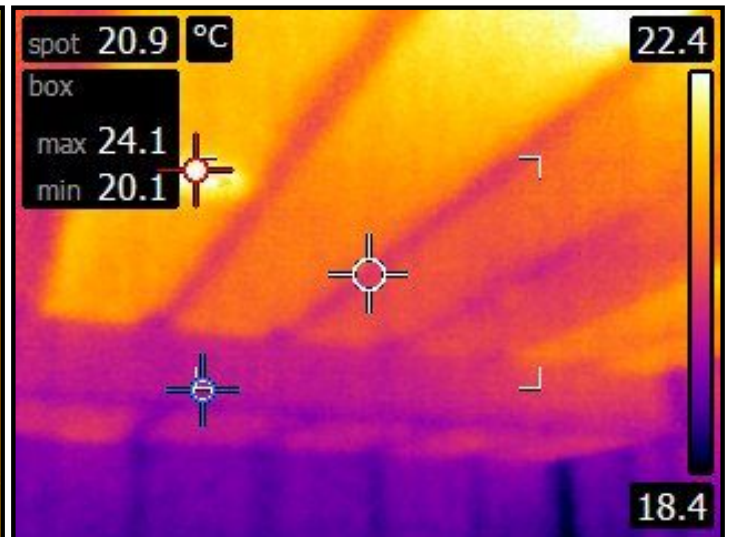


Basement Bedroom Ceiling - Thermal Image





Basement Bedroom 2 - Thermal Image



Basement Bedroom 2 Ceiling - Thermal Image

3. Door Conditions

INS	NI	NP	RR	SC
x				

Observations:

- Bedroom doors were all tested and worked as required.

4. Window Condition

INS	NI	NP	RR	SC
x			x	

Observations:

- All bedroom windows were tested (opened, unless fixed) and all worked as required unless otherwise noted. Highly recommend operating all windows during final walkthrough. Please note blinds, window coverings and screens are not part of the home inspection. Keep condensation off all sills and trim (especially wood) to reduce the risk of water damage. Please note this is a visual inspection only, we cannot comment beyond finished areas.

General comment on all windows- Condensation between the panes is common condition as the windows age over time. It is not always possible to observe signs of failing windows at certain times of the year or weather conditions. We recommend monitoring window conditions and address as and when seals start to fail.

- Bedroom 3 - window requires attention to open and close correctly - in an emergency situation egress would be hindered
- Clearly a draft issues at primary bedroom - seal and foam added - makes it hard to lock the window
- Bedroom 3 - Window locks are not operation/broken, this poses a security issue.



Bedroom 2 - window requires attention to open and close correctly - in an emergency situation egress would be hindered



Bedroom 3 - Window locks are not operation/broken, this poses a security issue.



Some blinds require attention - blinds/window coverings are not part of a home inspection

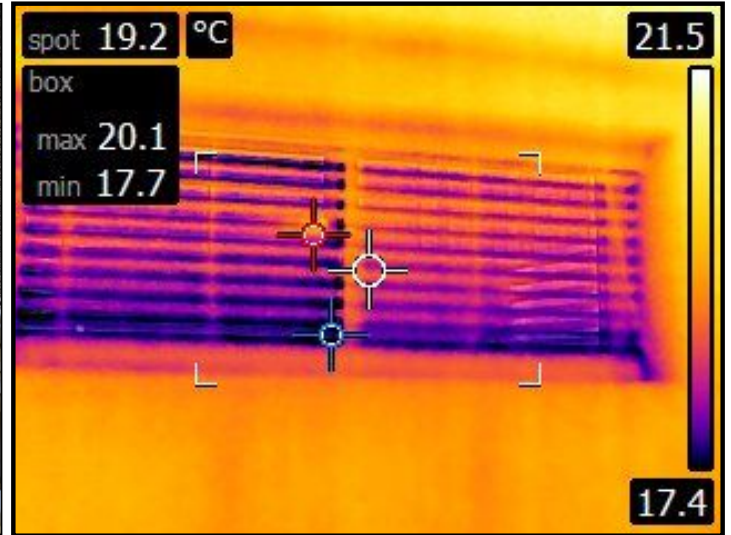


Clearly a draft issues at primary bedroom - seal and foam added - makes it hard to lock the window

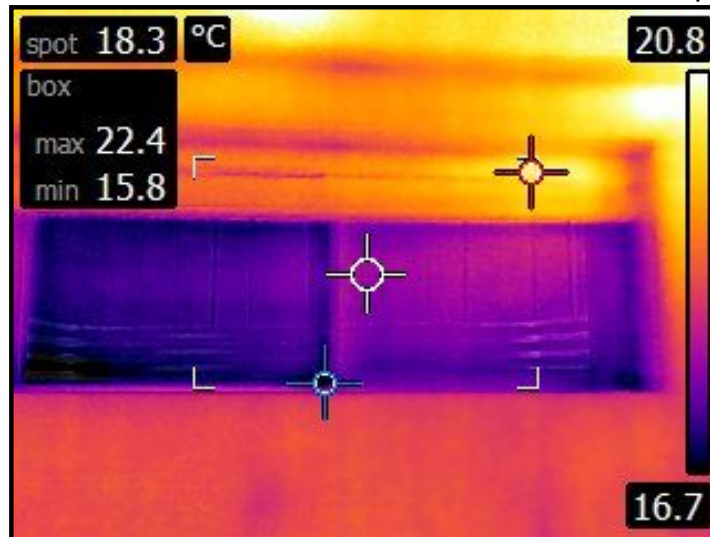




Foam added



All good on thermal scan at window/s on day of inspection



5. Electrical Conditions

INS	NI	NP	RR	SC
X				

Observations:

- Receptacles and switches were tested and worked as required where assessable on the day of the inspection.

6. Other Interior Area Comments

INS	NI	NP	RR	SC
X				

Observations:

- Bedrooms were inspected. Any issues will be documented in the appropriate section of the report.
- No cold air return observed in finished basement, which may result in inadequate heating and air circulation in this area.

# Bathrooms

## 1. Floors Condition

INS	NI	NP	RR	SC
X			X	

**Observations:**

- Flooring appears to be in serviceable condition.
- **Cracked tiles, damaged grout and hollow sound indicate poor install - tiles will continue to crack**
- **Cracked tiles observed - This can be an indication of poor subfloor installation.**



Main Level Bathroom



Family Bathroom



En Suite To Primary Bedroom



Basement Bathroom





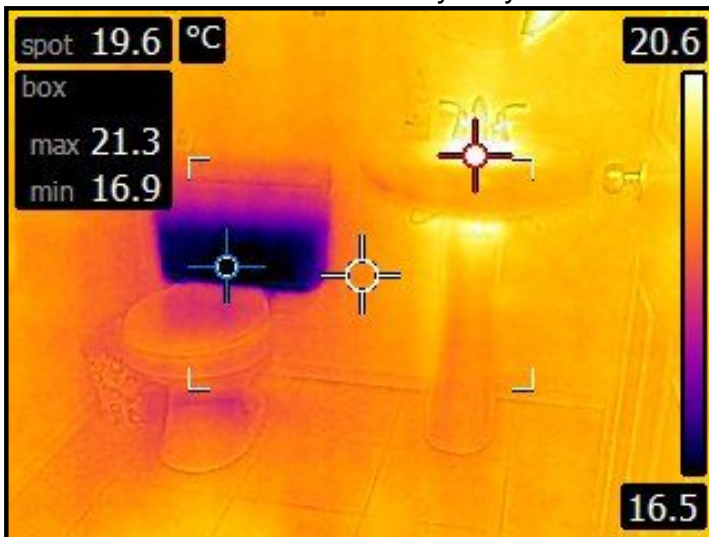
Cracked tiles, damaged grout and hollow sound indicate poor install - tiles will continue to crack

2. Walls/Ceiling Condition

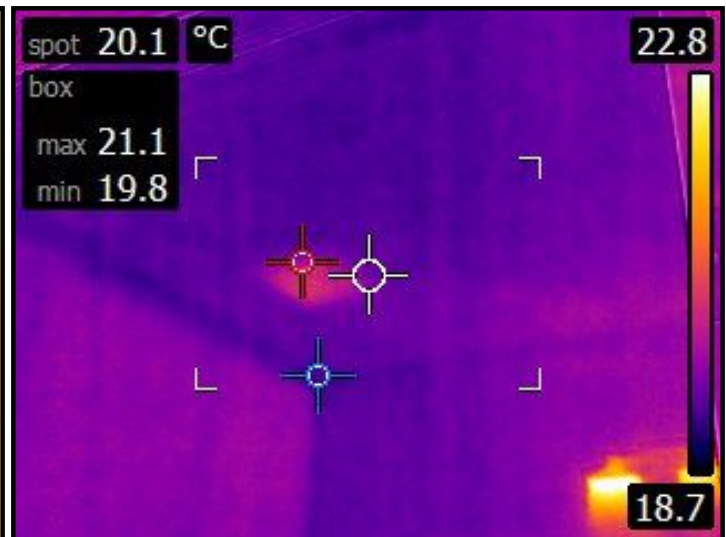
INS	NI	NP	RR	SC
x				

Observations:

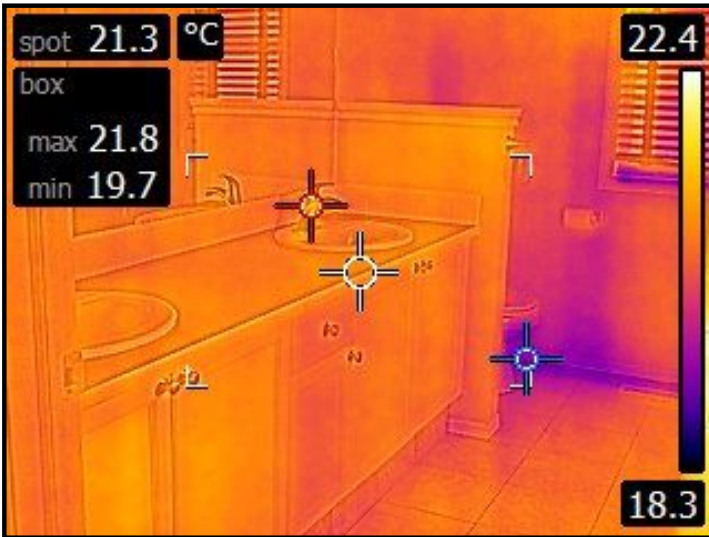
- All walls/ceilings were in serviceable condition and dry at the time of the inspection. Walls and ceilings were also thermal scanned. Any issues will be documented in the appropriate section of the report. Please note, cosmetic issues are not part of the inspection and if included are included as a courtesy only.



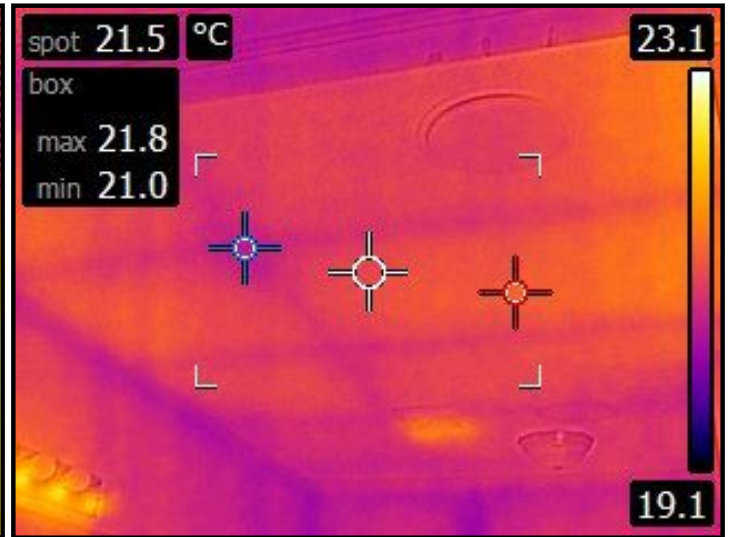
Main Level Bathroom - Thermal Image



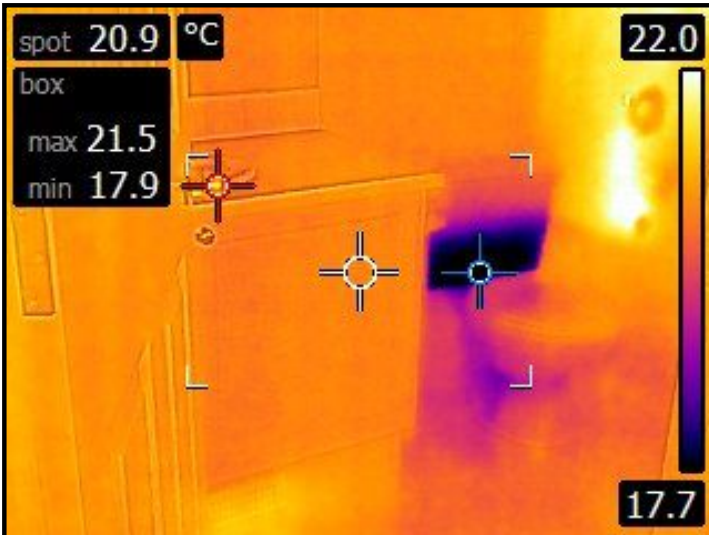
Main Level Bathroom Ceiling - Thermal Image



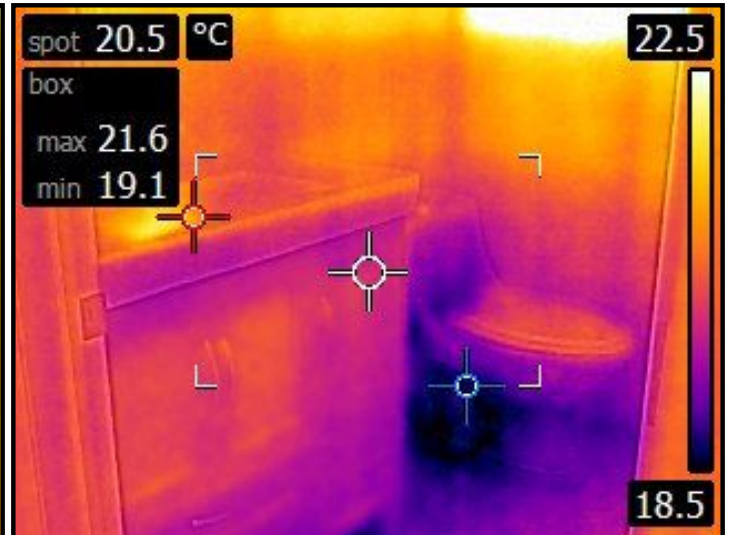
En Suite to Primary Bedroom - Thermal Image



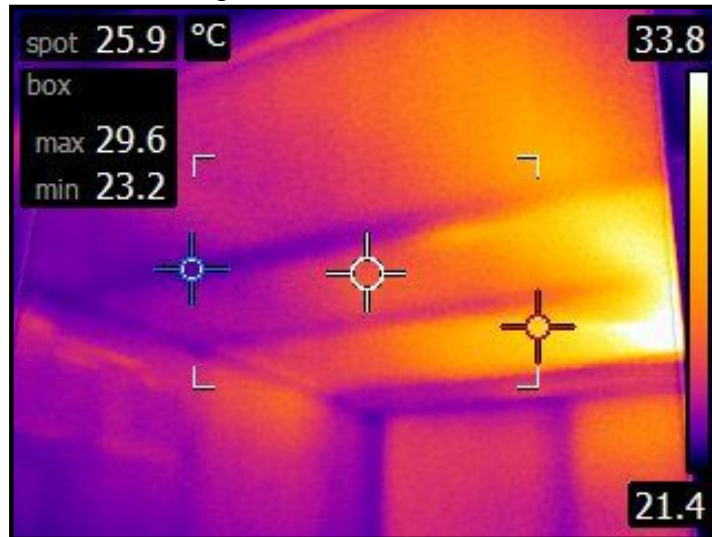
En Suite to Primary Bedroom Ceiling - Thermal Image



Family Bathroom - Thermal Image



Basement Bathroom - Thermal Image



Basement Bathroom Ceiling - Thermal Image



3. Window Condition

INS	NI	NP	RR	SC
x		x		

Observations:

- Bathroom windows were opened and latch/lock tested unless fixed. Working as required unless otherwise noted.



Trim damaged at window in en suite

4. Door Condition

INS	NI	NP	RR	SC
x			x	

Observations:

- Doors are in serviceable condition



Damage at en suite door



Basement bathroom - damaged door

5. Electrical Condition

INS	NI	NP	RR	SC
x				

Observations:

- GFCI in place and operational
- GFCI in place and operational - En Suite To Primary Bedroom resets the others.

6. Bathroom Exhaust Fan Condition

INS	NI	NP	RR	SC
X			X	

Observations:

- All vent fans should be kept clean to function correctly. In most cases we are unable to see the vent line, so in some cases exit destination cannot be determined.
- Main Level Bathroom - Fan is dirty and requires cleaning
- Family Bathroom- Stain noted at ceiling fan - some lower end fans have less draw. Suggest adding a stronger fan and a timer switch to reduce the problem from continuing to occur.
- Family Bathroom - Poor draw noted on fan suggest repair/replace
- Bathroom vent fan is improperly venting into the furnace room - Recommend fan exhaust to the exterior to prevent damage, deterioration from moisture/condensation - the vent line is far too long to be effective.



Main Level Bathroom- tested and working as required



Poor draw noted on fan suggest repair/replace



Family Bathroom- Staining noted to the fan surround.

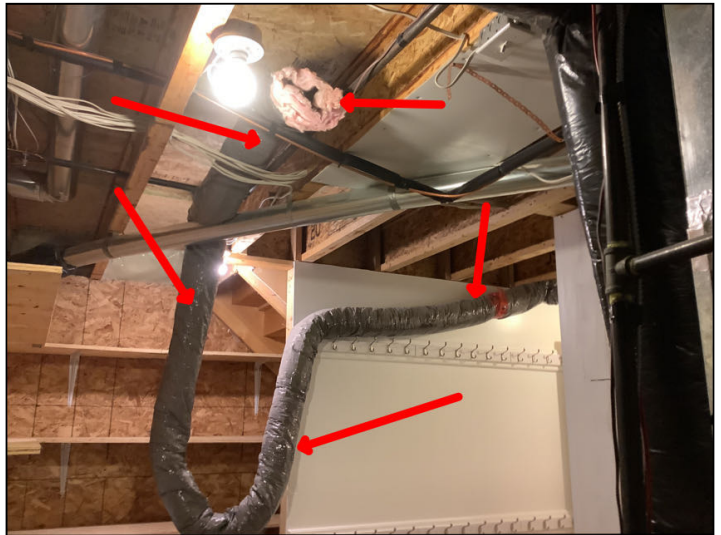


En Suite To Primary Bedroom- tested and working as required





Basement Bathroom- tested and working as required



Bathroom vent fan is improperly venting into the furnace room - Recommend fan exhaust to the exterior to prevent damage, deterioration from moisture/condensation - the vent line is far too long to be effective.

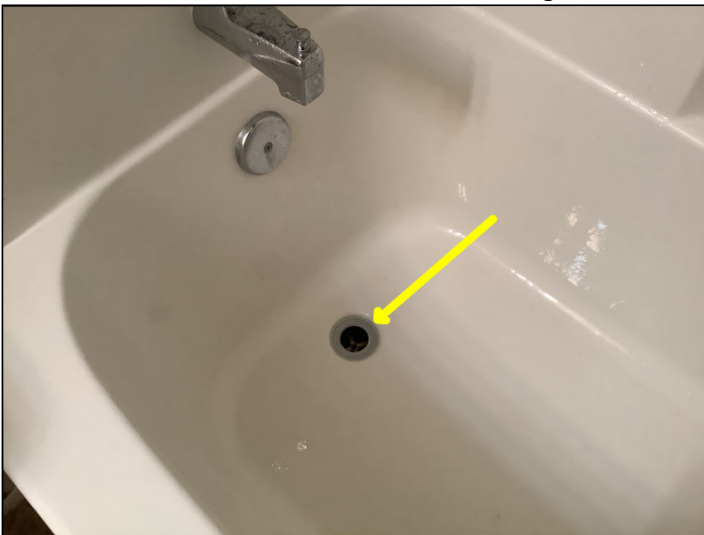
7. Tub and Surround Condition

INS	NI	NP	RR	SC
x				

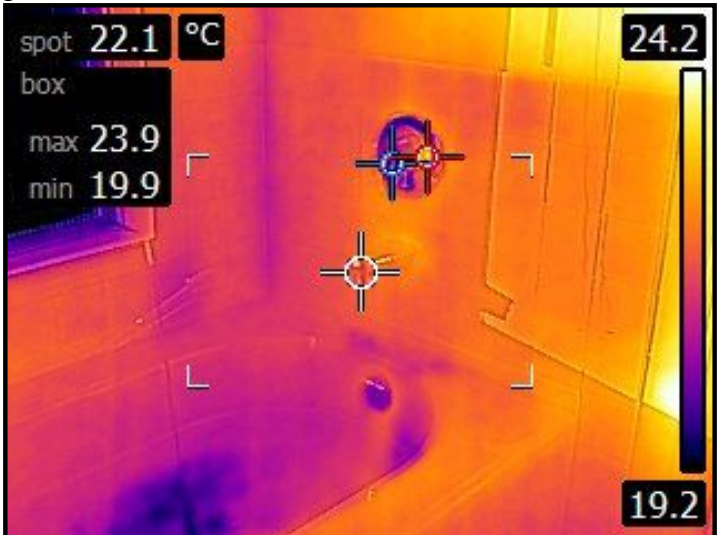
Materials: Tub

Observations:

- Tub was partly filled to test. The home was thermally scanned for hidden leaks. The inspector cannot be held responsible for future leaks. The home inspection is non-evasive. Moisture cannot be detected behind tiles and other surfaces in wet areas. As and when required - Suggest all tile edges and tub walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring.



Family bathroom - no stopper

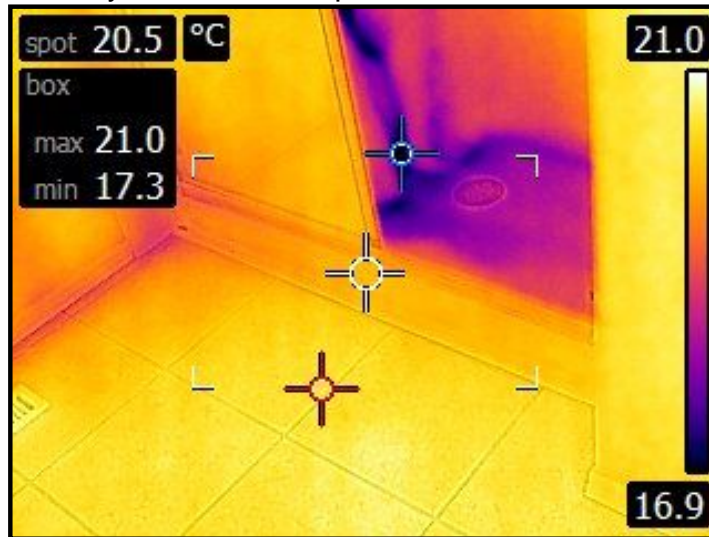


8. Shower and Enclosure Condition

INS	NI	NP	RR	SC
X				

Materials: Plastic/Fiberglass with tile surround. • Fiberglass - small chip  
 Observations:

- As and when required - Suggest all tile edges of the shower walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. Noninvasive inspection - The inspector cannot be responsible for issues behind tiled areas as these areas are hidden from view. Only an evasive inspection would determine this.



9. Bathroom Sink Condition

INS	NI	NP	RR	SC
X				

Observations:

- If possible all sinks are filled to test or water is allowed to run to determine if there are any leaks. If there are any issues they we be recorded in the appropriate section of the report.
- Main Level Bathroom - Stopper is missing at sink.



Main Level Bathroom - Stopper is missing at sink.



10. Faucet Condition

INS	NI	NP	RR	SC
X				

Observations:

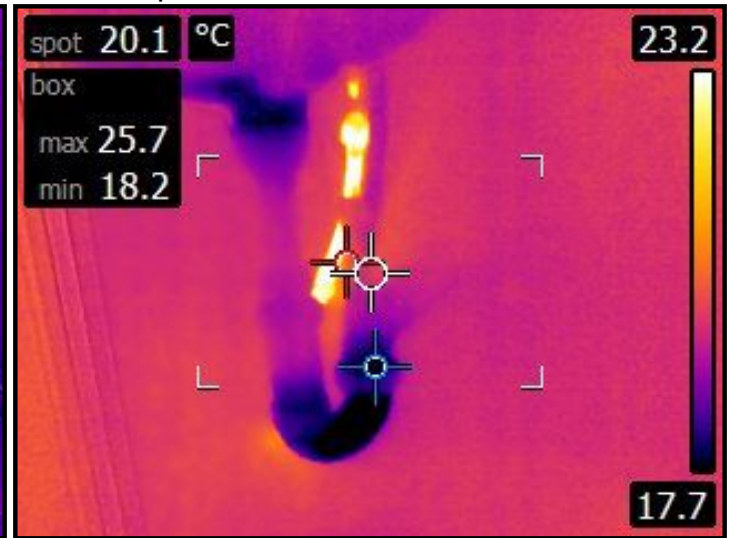
- Faucets were run for a period of time. No leaks observed.

11. Traps/Drains/Supply Condition

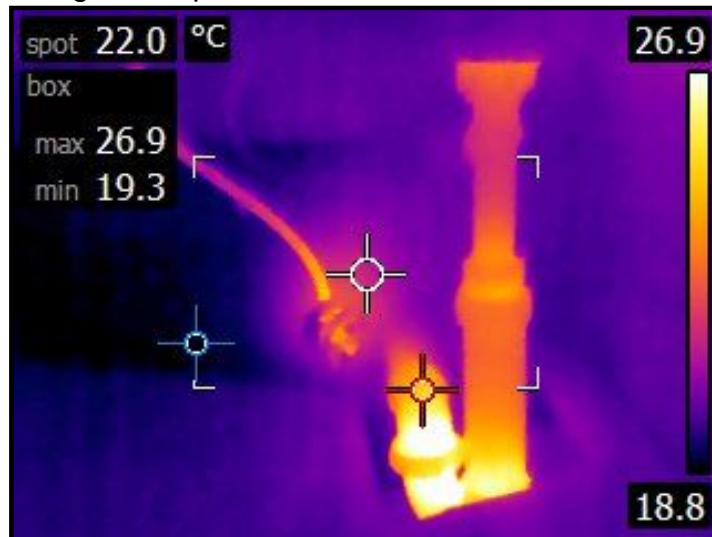
INS	NI	NP	RR	SC
X				

Observations:

- No leaks at traps, drains or supply lines on day of inspection. In some cases plumbing venting is not visible as located inside the wall. As not visible this is excluded from as part of the inspection.



En Suite To Primary Bedroom, Main Level Bathroom, Family Bathroom, Basement Bathroom  
- No leaks observed during the inspection.



12. Toilet Condition

INS	NI	NP	RR	SC
X			X	

Observations:

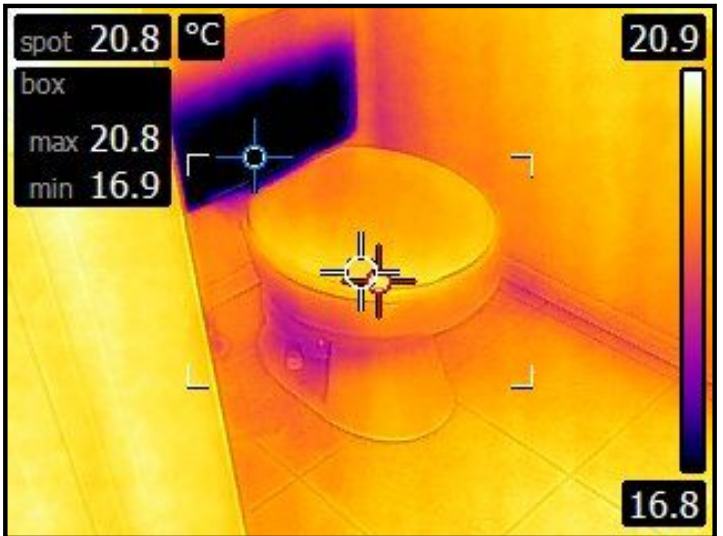
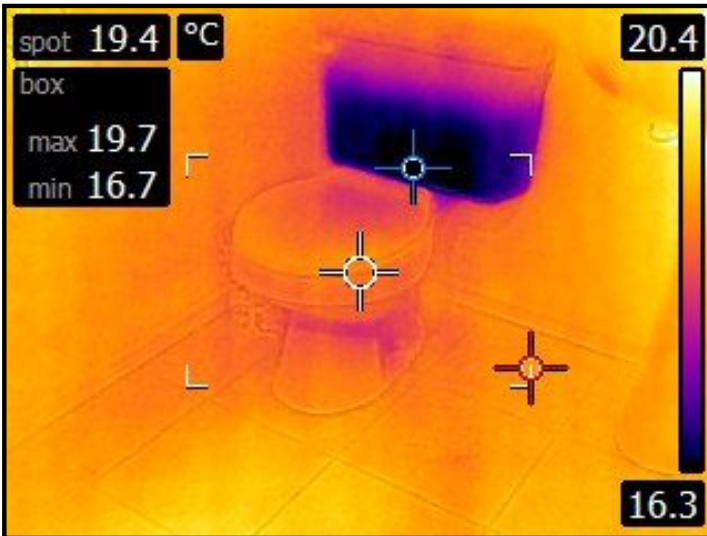
- Some floor coverings prevent us from seeing damage to the sub floors. Due to this, hidden areas are excluded from the responsibility of the inspector.
- Because one or more toilet bowl is loose at floor anchor bolts we suggest tightening the anchor bolts and caulking part way around the base to stop excess movement. Once caulked do not use for 24 hours. The wax ring inside the unit must have a snug, secure fit in order to keep from leaking. Properly resealing and re-securing this unit is suggested to prevent water leakage and damage to the sub-floor area.
- Main Level Bathroom - Toilet slightly loose/not level - Recommend tightening to prevent water damage.



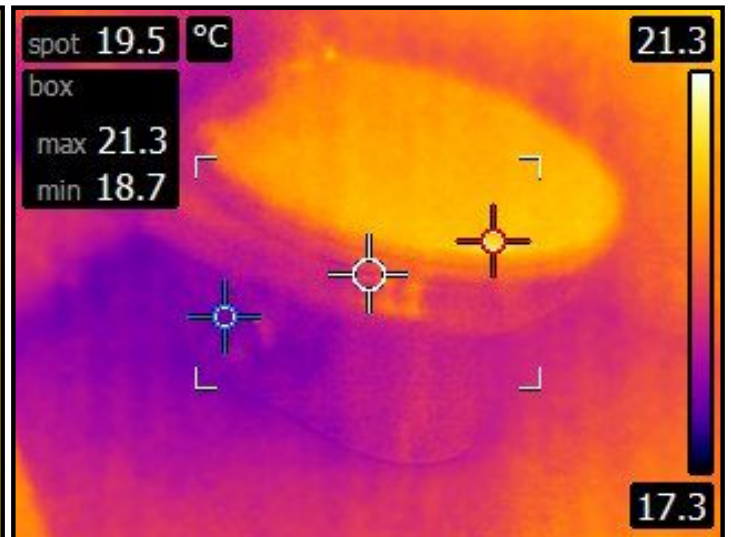
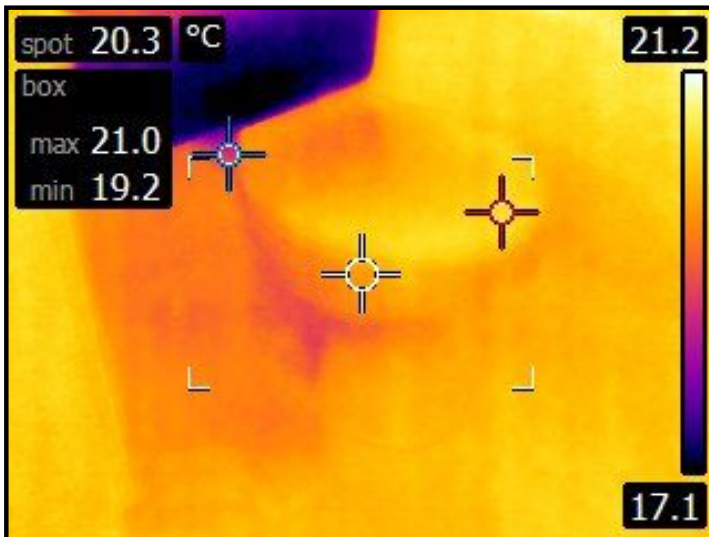
Main Level Bathroom - Toilet slightly loose/not level - Recommend tightening to prevent water damage.



Main Level Bathroom, En Suite To Primary Bedroom - Toilet slightly loose/not level - Recommend tightening to prevent water damage.







13. Counters/ Cabinets Condition

INS	NI	NP	RR	SC
X			X	

Observations:

- Counter tops and cabinets are in serviceable condition.
- Cosmetic damage noted.



Cosmetic damage noted.



Repairs required to cabinets

14. Bathroom Comments

INS	NI	NP	RR	SC
X				

Observations:

- All the bathrooms were individually inspected and all areas tested for potential problems.

# Furnace Room/Basement/Crawl Space

## 1. Basement Finish

INS	NI	NP	RR	SC
X				

Type: Finished basement

Observations:

- All unfinished areas - Inaccessible areas behind insulation and vapor barrier are not within the scope of this report - Inspection is limited to visually accessible items only.
- All finished areas - finished areas in basement were observed. Access to the original basement walls, floors, and ceilings was not available due to the additional construction that is present such as framed out walls, covered ceilings, and added floor coverings. As these areas are not visible or accessible to the inspector they are excluded from this inspection.

## 2. Stairs

INS	NI	NP	RR	SC
X				

Observations:

- The stairs to basement were secure and a hand rail was present.

## 3. Floors

INS	NI	NP	RR	SC
X				

Observations:

- Flooring appears to be in serviceable condition.
- All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.



Cracks observed.

## 4. Walls Condition

INS	NI	NP	RR	SC
X				

Materials: Unfinished • Drywall

Observations:

- Dry at the time of the inspection where accessible.
- Unable to access the majority of the exterior foundation walls due to basement finish. Comments made are of visible areas only.



## 5. Ceiling Condition

INS	NI	NP	RR	SC
X				

Materials: Unfinished • Open Beam  
 Observations:  
 • Dry at the time of the inspection.

## 6. Electrical Issues

INS	NI	NP	RR	SC
X				

Materials: No visible electrical issues in basement on day of inspection unless otherwise noted  
 Observations:  
 • Open Junction boxes observed. Close for safety.

## 7. Joist Condition

INS	NI	NP	RR	SC
X				

Materials: Manufactured  
 Observations:  
 • Floor joists are an important part of the supportive structure of a floor. They hold up the weight of a building, absorb impacts on the floor, and create structural support so that the floor will be stable and secure. Suggest consulting a professional prior to any modification.  
 • The majority of the joists could not be fully inspected due to the basement being finished.

## 8. Beams Condition

INS	NI	NP	RR	SC
X				

Materials: Wood  
 Observations:  
 • Support framework should not be altered as it is a vital component of overall structure. No alterations should be made without seeking the advice of a qualified professional.  
 • Beams are finished in most areas, not able to fully inspect.

## 9. Support Post Comments

INS	NI	NP	RR	SC
X				

Materials: Screw Jacks  
 Observations:  
 • Never remove support posts without seeking structural advice. Comments made are on visible posts only, if any.  
 • Inaccessible as finished in most areas, comments made are of the visible ones only.

## 10. Subfloor Condition

INS	NI	NP	RR	SC
X				

Materials: Plywood/OSB - Plywood and OSB are made differently. Oriented strand board is made from heat-cured adhesives and wood particles that are arranged in layers that cross. Plywood is constructed from thin sheets of veneer, which are thin layers of wood peeled from a log. In plywood, the sheets are cross-laminated and glued together using a hot press. Due to these construction differences, plywood appears much more smooth and consistent than OSB. But the finished products are very similar in strength and performance characteristics.

Observations:  
 • No visible leaks were observed or damage to materials at the time of the inspection. Comments made are of the visible areas only.

## 11. Insulation Condition

INS	NI	NP	RR	SC
X				

Materials: Rolled/Batt Insulation

Observations:

- Visible at unfinished area only - No comments can be made on insulation in concealed areas. Unable to determine if there is an air gap between the insulation and foundation wall. The air gap is to prevent condensation buildup which can be an issue in the spring thaw and freak weather conditions - monitor basement.
- Reposition insulation above main panel at utility exit point to reduce heat loss.



Reposition insulation above main panel at utility exit point to reduce heat loss.

## 12. Basement Comments

INS	NI	NP	RR	SC
X				

Observations:

- The basement area was dry on day of the inspection. Future conditions cannot be determined as these are changeable with the weather conditions. Recommend obtaining information from seller on any past water/moisture penetration. Please note it is not the inspectors responsibility to confirm/check for permits for renovation/changes in the home. Limited review due to storage of personal property. The presence of mold in concealed areas of the home does NOT fall within the scope of Home Inspection as it is not visibly accessible. If buyer has concerns about mold due to allergies, or suspects the presence of mold, he/she is advised to consult with a qualified contractor and with vendor to agree to carry out a more invasive investigation. Inspection of the basement/crawlspace is limited to a visual review of conditions at time of inspection only. Weather conditions, storage of personal property, changing foundation wall conditions wall finishes etc. all contribute to inconclusive predictions of foundation performance. While there may not be visible evidence of water intrusion at time of inspection, the inspector CANNOT warranty this or any basement against water entry. Compliance of secondary suites does not fall within the scope of the home inspection. Recommend contacting appropriate jurisdictional bylaw and permitting agencies for compliance approval and/or licensing requirements.



# Plumbing

## 1. Main Shutoff Location

INS	NI	NP	RR	SC
x				

Materials: Pex

Observations:

- No leaks at the time of the inspection, ongoing monitoring of all plumbing suggested. Since main shut off valves are operated infrequently, it is not unusual for them to become inoperable over time. They often leak or break when operated after a period of inactivity. We suggest caution when operating shut offs that have not been turned for a long period of time. All shutoff valves and angle stops should be turned regularly to ensure free movement in case of emergency.
- Service lines are loose - recommend securing as required.



Main water shut off shown

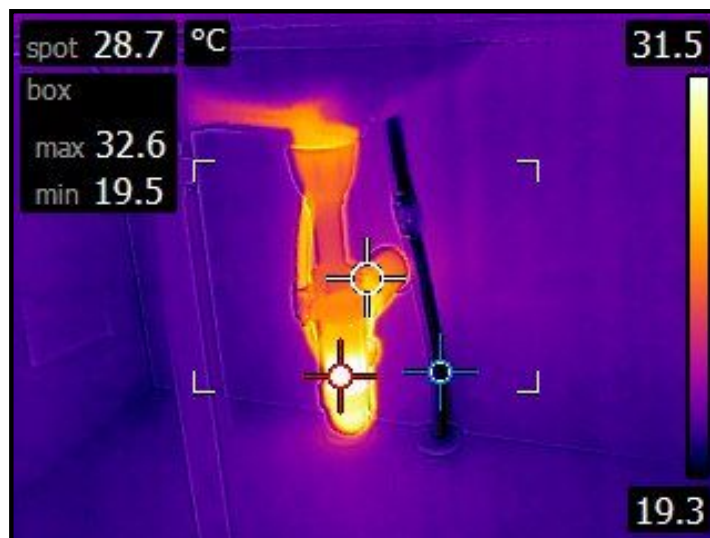


Service lines are loose - recommend securing as required.

## 2. Supply Line Condition

INS	NI	NP	RR	SC
x				

Materials: Pex - NSF • Pex - Bow Super Pex



Plumbing thermal scanned for issues - none on day of inspection

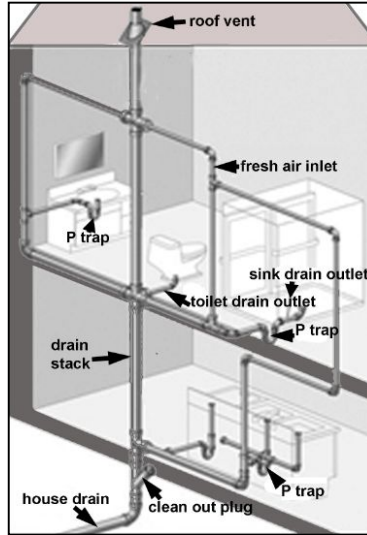
3. Waste Line Condition

INS	NI	NP	RR	SC
X				

Materials: Plastic/PVC/ABS

Observations:

- Waste lines were in serviceable condition when inspected. No leaks observed at the time of the inspection, unless otherwise noted in this report - scoping drain lines is not part of the home inspection.



4. Sump Pump/Pit Conditions

INS	NI	NP	RR	SC
		X		

Observations:

- No sump pump visible in the home.

5. Plumbing Comments

INS	NI	NP	RR	SC
X				

Comments:

- All plumbing components tested well at time of inspection unless otherwise noted. Recommend monitoring the visible pipes for leaking as part of ongoing maintenance. Trees within the property lines can cause issues with roots, damaging underground pipes or other utilities. As a visible inspection only we can not be held responsible for present or future issues.
- Back flow prevention valve not visible - it may be covered/may not be installed.

## Electrical

1. Main Service Drop Condition

INS	NI	NP	RR	SC
X				

Type: Main Service Drop is underground

Observations:

- Incoming supply line was in good serviceable condition where visible.



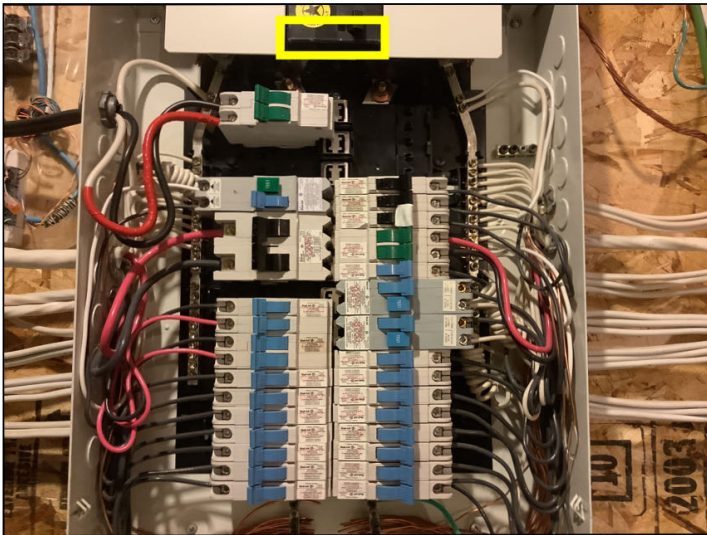
2. Electrical Panel Condition

INS	NI	NP	RR	SC
X				

Type / Materials: Breakers • Branch circuit wiring is copper • The main service is approximately 100 amps, 240 volts.

Observations:

- Please note, the panel protecting the main service conductors at the main electrical panel is not removed for safety reasons. The main breaker should always be in the off position when this panel is removed and even still, parts of it may remain energized. If further review is required we highly recommend obtaining this prior to close.
- The main panel is located in the furnace room



Main kill switch shown - 100 Amp



Thermal Image of panel - No issues during inspection

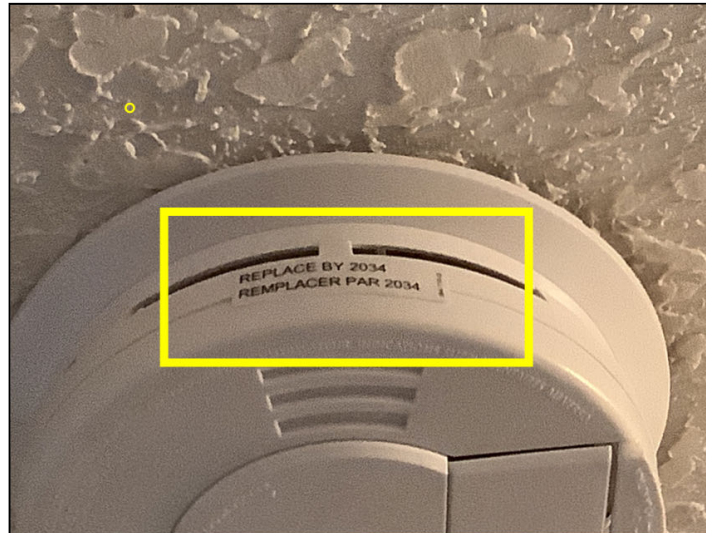
3. Smoke and Carbon Monoxide Detector Comments

INS	NI	NP	RR	SC
X				

Location: On all levels

Observations:

- Test all smoke and carbon monoxide detectors regularly and replace all as shown - If not date is visible we suggest you replace ASAP
- If not already complete, we strongly suggest installing smoke and carbon monoxide detectors to all levels of the home. These should be tested monthly and if the carbon monoxide detector has replaceable batteries, these should be changed every 6 months or as needed.
- Tested using the device test button. Alarm sounded as required. Periodic testing is suggested to ensure proper working order. These only have a life span of 10 years even if they sound on testing - worked on day of inspection but can fail at anytime.
- Joint carbon monoxide and smoke detectors in place, tested and worked as required - periodic testing suggested.
- Recommended as of 2016, all bedrooms in new homes should have their own smoke detector - not essential for older homes but would enhance safety.



Test all smoke and carbon monoxide detectors regularly and replace all as shown - If not date is visible we suggest you replace ASAP

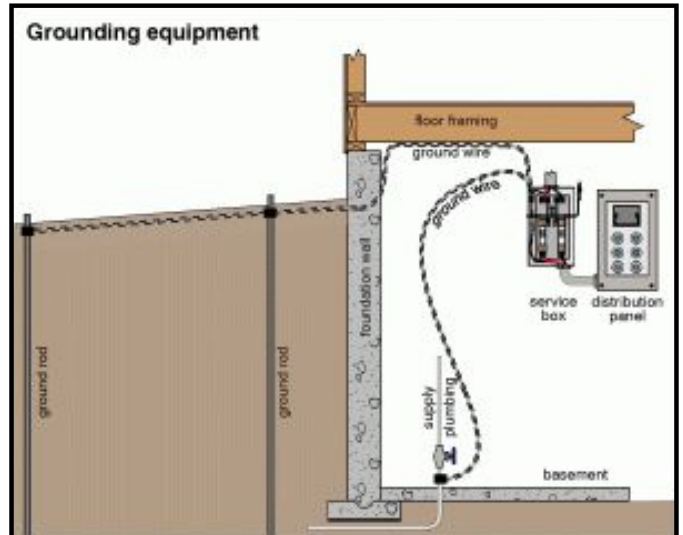
#### 4. Electrical Comments

INS	NI	NP	RR	SC
x				

##### Observations:

- As generalists our electrical inspections are limited - if a more advanced inspection is required we recommend contacting a qualified electrician for full review. As we have tested the system using conventional means, grounding appears to be present. It can only be assumed that the ground connection has been properly connected. Should further review be need, recommend contacting a qualified electrician for further information. Please note, It is not the inspectors responsibility to confirm permits for the property. For education purposes - A ground-fault circuit interrupter (GFCI) can help prevent electrocution. If a person's body starts to receive a shock, the GFCI senses this and cuts off the power before he/she can get injured. GFCIs are generally installed where electrical circuits within appliances may accidentally come into contact with water. They are most often found in kitchens, bath and laundry rooms, outside or in the garage - We may suggest GFCI upgrades in areas, these upgrades are suggestions only and in some cases not possible due to the age of the home/panel. For more detailed review of electrical issues suggest electrician to review if required. All electrical issues within the home should repaired/replaced buy a licensed electrical contractor, do not attempt repairs unless fully qualified.
- The electrical service to this home is typical and adequate for this home. As many receptacles as accessible were tested. Issues have been documented in the appropriate section.
- The top switch to the basement should be the master so you can always turn the light on from the top - electrician to assess as a safety issue





The top switch to the basement should be the master so you can always turn the light on from the top - electrician to assess as a safety issue

## HVAC

### 1. Heating Type

Materials: Gas Forced Air

Materials: Approximate age of furnace is 19 years old. Furnaces typically last between 15 and 30 years. Recommend regular maintenance is performed by a qualified technician every 1-2 years.

### 2. Thermostat Condition

INS	NI	NP	RR	SC
x				

Recommend securing operation manual from seller.

### 3. Burner Chamber Comments

INS	NI	NP	RR	SC
x				

Observations:

- Annual clean/service by a qualified HVAC technician is recommended on possession and then ongoing annually.
- Cracks and/or holes in the heat exchanger are not part of the inspection - Service engineer should be called to inspect if concerned.
- No record of recent service observed. Recommend full clean and service by a qualified HVAC technician on possession annually.



All visibly good in burner chamber on day of inspection

4. Exhaust Venting Conditions

INS	NI	NP	RR	SC
x				

Materials: Metal

Observations:

- Vent lines in good condition where visible.

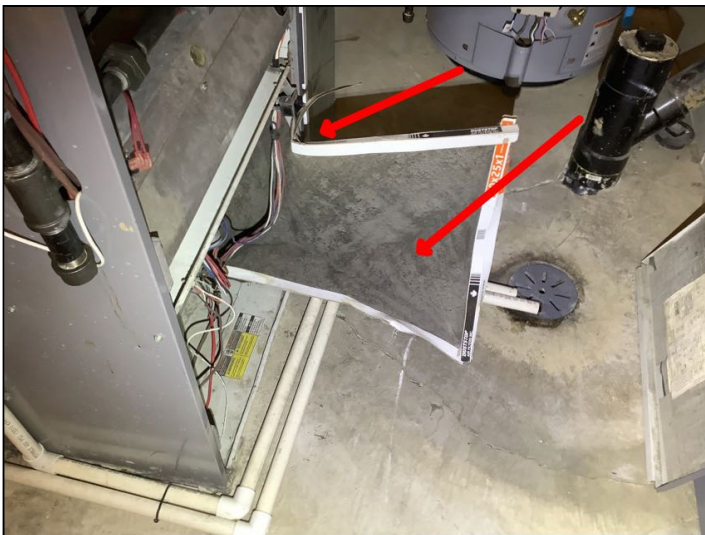
5. Filter comments

INS	NI	NP	RR	SC
x			x	

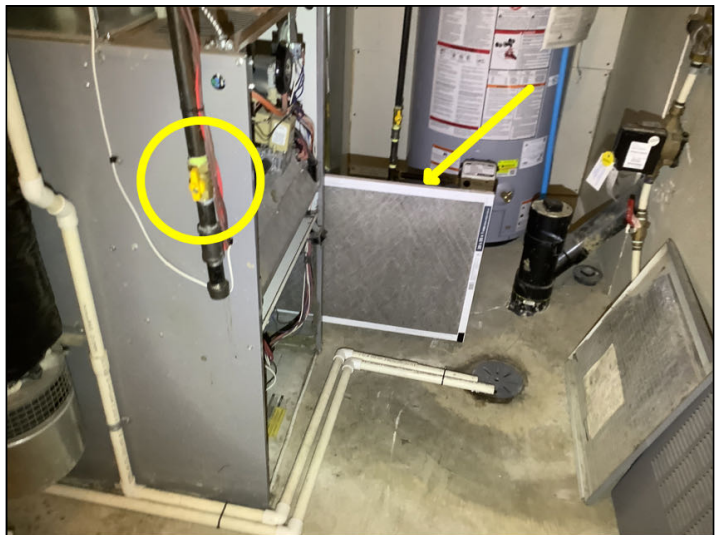
Size: 16x25x1 - Typically 1 to 3 monthly replacement

Observations:

- Filter is being sucked into the fan - do not use this style
- **The filter is dirty. Recommend changing the filter as soon as possible.**



Filter is being sucked into the fan - as so dirty



Gas shut off shown - Replace filter every 1-3 month or as stated by manufacturer



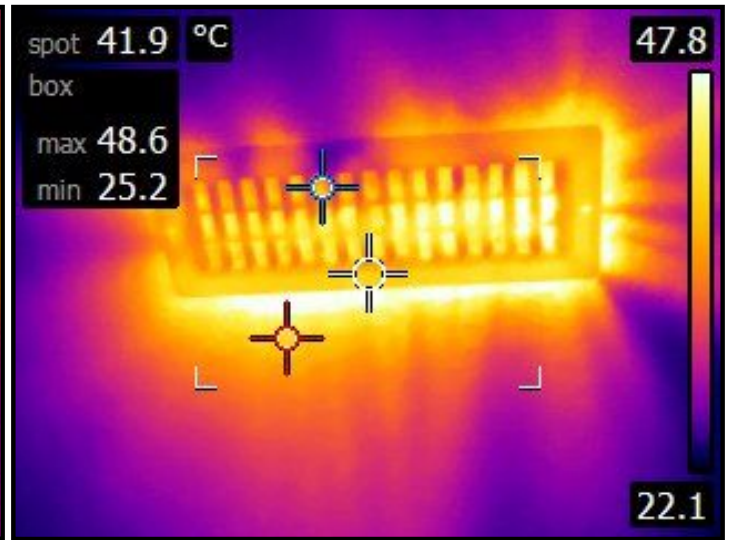
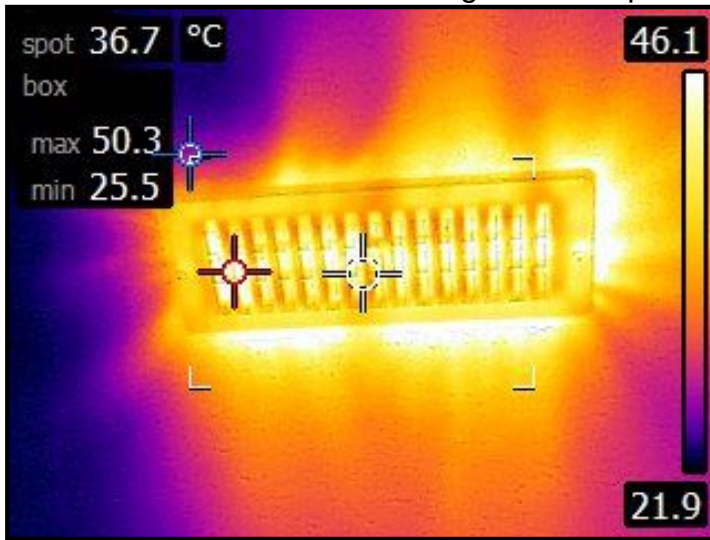
6. Distribution Condition

INS	NI	NP	RR	SC
X				

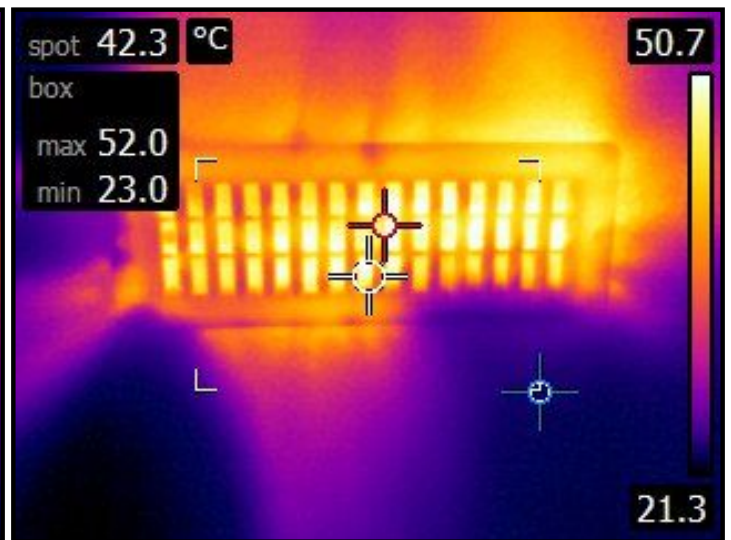
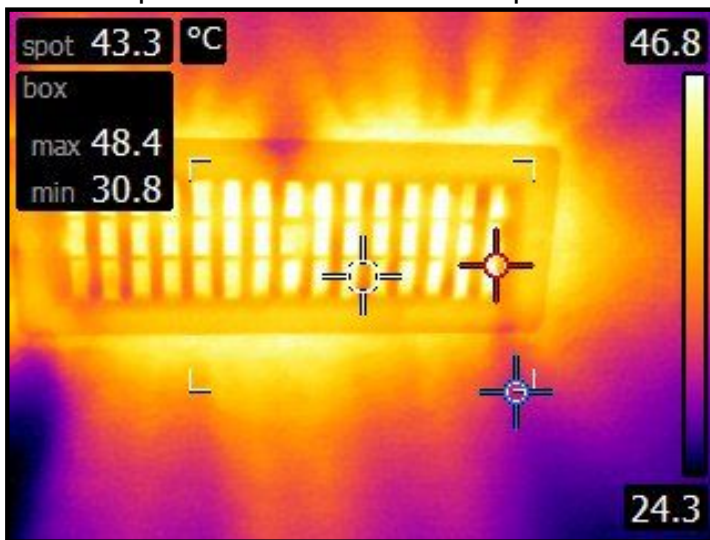
Type: Ducts and Registers

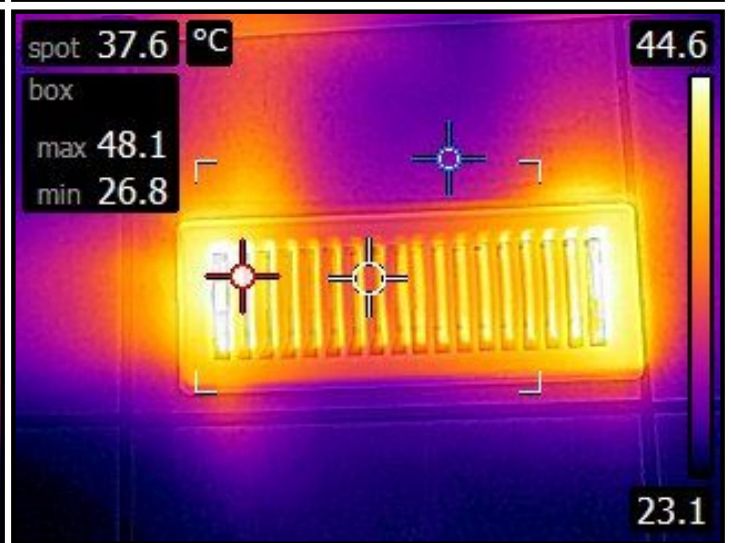
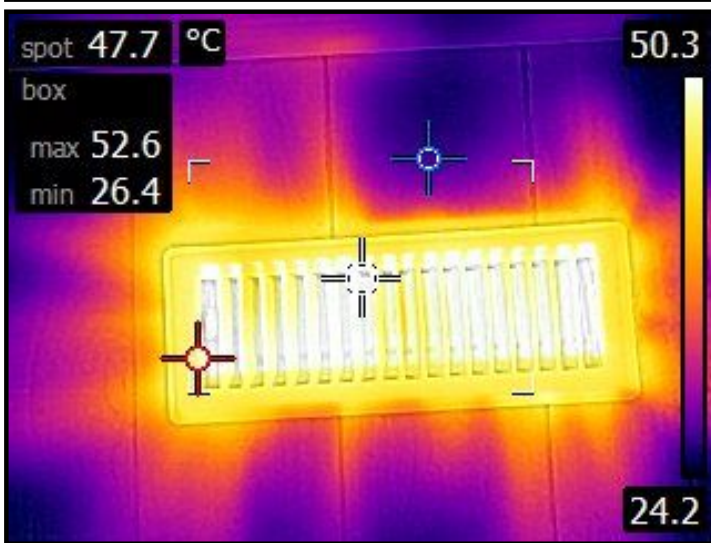
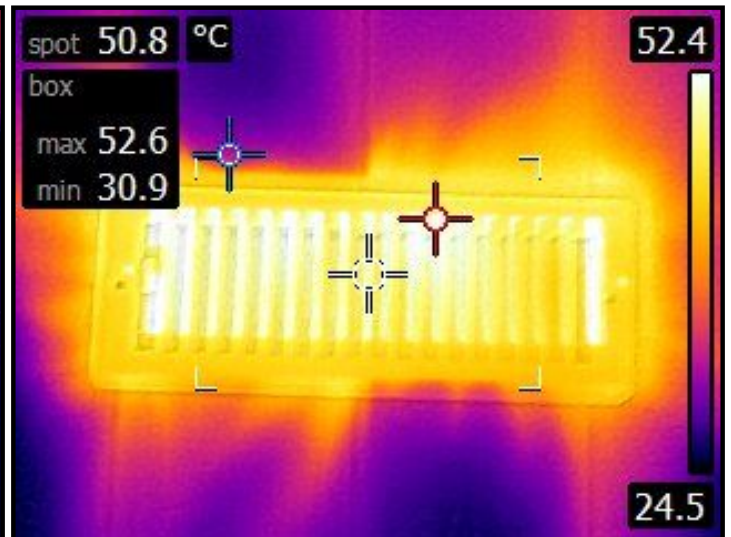
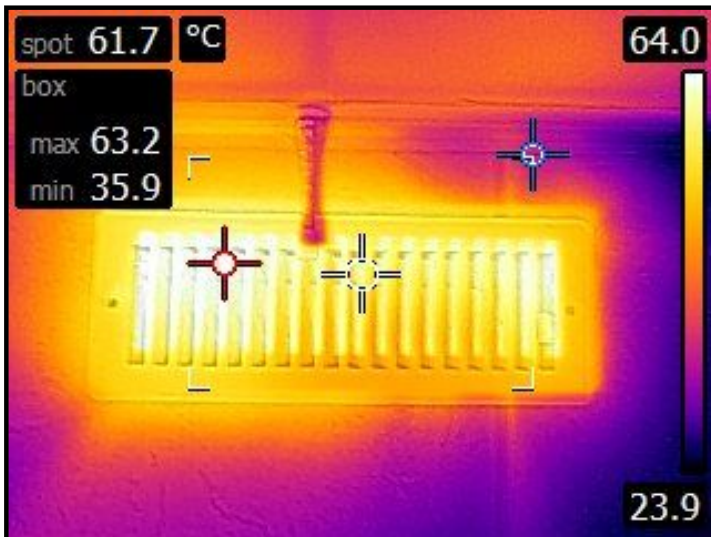
Observations:

- In the inspectors opinion the distribution/ducting was all working well on the day of the inspection. Duct work is in place and correct where visible unless otherwise noted. It is common for rooms further from the furnace to have slightly lower heat distribution. It is always a good idea to tape (aluminum tape) all visible joints/holes/gaps in ducting to reduce energy loss in unwanted areas. Doing this will also provide better air flow from the vents around the home. A selective number of heat registers are scanned using thermal imaging for consistency.
- Please note we do NOT test cold air returns - if concerned suggest contacting a HVAC specialist



Registers thermal scanned and working as required at the time of the inspection.





7. Humidifier comments

INS	NI	NP	RR	SC
	X			

Materials: Flow through

Observations:

- Humidifier has been switched off at the water supply by the owner - not tested



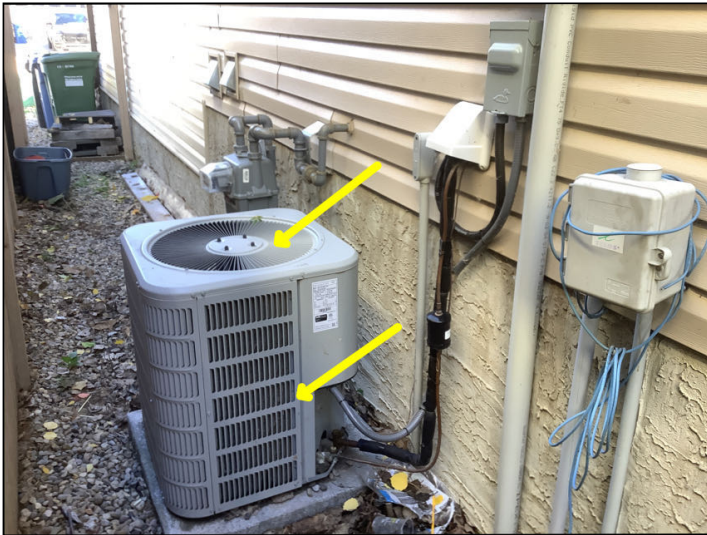


8. Air Conditioning

INS	NI	NP	RR	SC
			X	

Materials: Air Source Pump  
Observations:

- Air conditioning failed to operate using normal controls



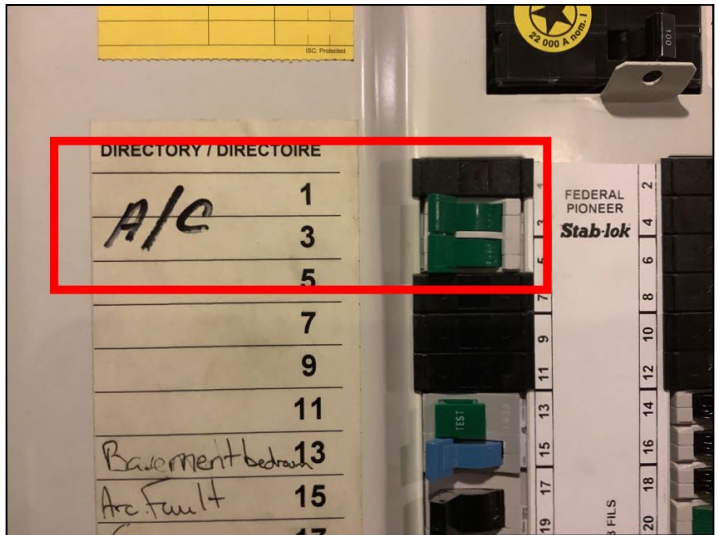
Worked on testing - suggest adding a cover in the winter



Air conditioning failed to operate using normal controls



Power on - air conditioning failed to start





9. Heating Comments

INS	NI	NP	RR	SC
X			X	X

Observations:

• Due to inaccessibility of many of the components of this unit, the review is limited. Unit was tested using normal operating controls and appeared to function properly at time of inspection. Holes or cracks in the heat exchanger are not within the scope of this inspection as heat exchangers are not visible or accessible to the inspector. If a detailed inspection is desired, a licensed heating contractor should be consulted prior to closing to ensure proper and safe operation of this unit. We always recommend a full clean and service on possession - then every 1-2 years. Heating units can fail at any time - our comments are on the day of the inspection only - Furnace operational and functioning correctly unless otherwise noted.

• Furnace runs for a period of minutes before shutting off - it continuously restarts and the turns off - this happened over 6 times while in the furnace room - the fan is noisy and no sign of recent service. This style has no fault code indicator. Suggest service engineer to assess asap due to lower temperature in the forecast.



Furnace runs for a period of minutes before shutting off - it continuously restarts and the turns off - this happened over 6 times while in the furnace room - the fan is noisy and no sign of recent service. This style has no fault code indicator. Suggest service engineer to assess asap due to lower temperature in the forecast.

## Water Heater

1. Water Heater

The water heater is located in the furnace room, has a 40 gallon capacity, approximately 2 years old. Average life expectancy is about 10-12 years - These can fail at any time.

2. Supply Lines Condition

INS	NI	NP	RR	SC
X				

Materials: Pex and Copper • Flexible hose

Observations:

• No visible leaks at supply lines or fittings - Recommend monitoring connections for corrosion, efflorescence and/or leaks.



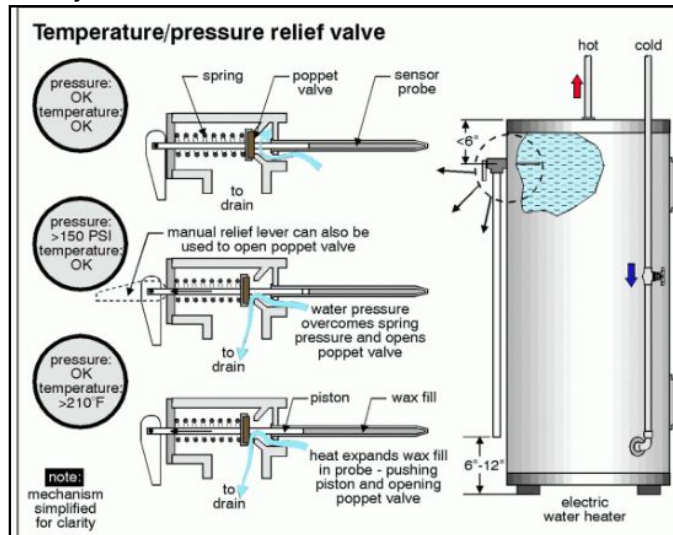
Water and gas shut offs shown.

3. Temperature Pressure Release Valve Conditions

INS	NI	NP	RR	SC
X				

Observations:

- The TPR (Temperature Release Valve) valve and pipe is in place. This is for safety.



4. Combustion Chamber Conditions

INS	NI	NP	RR	SC
X				

Observations:

- Combustion chamber can only be partially inspected - Appeared in serviceable condition where visible.





The combustion chamber appears to be in good condition.

5. Flue Venting Conditions

INS	NI	NP	RR	SC
X				

Materials: Metal

Observations:

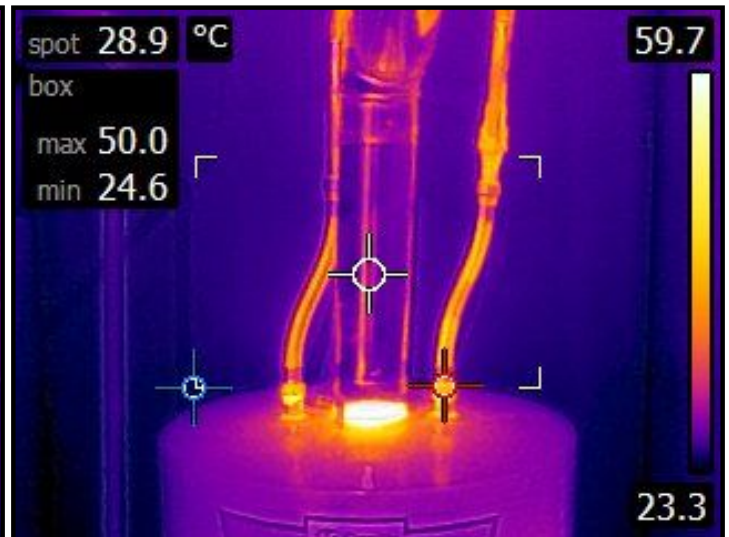
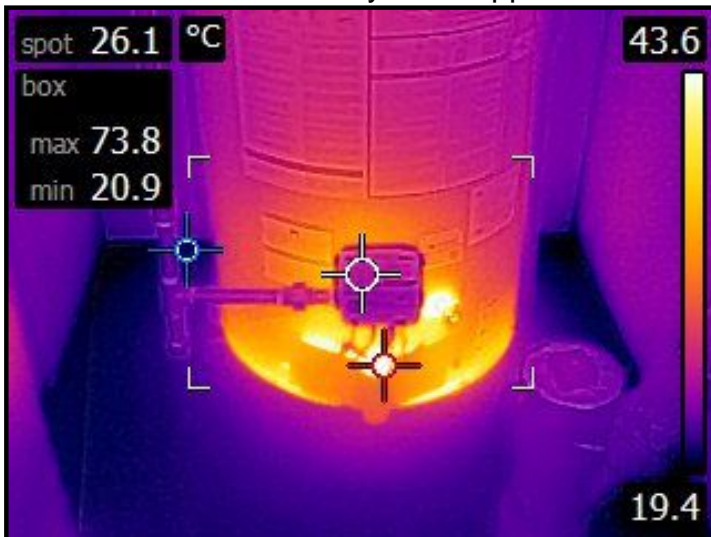
- Intact where visible; the flue interior is not reviewed.

6. Water Heater Comments

INS	NI	NP	RR	SC
X				

Observations:

- Children should be kept away from water heater as the high pressure release valve, if disturbed, can cause scalding.
- Serviceable at time of inspection. No warranties can be offered on this or any other appliance.



No leaks observed during the inspection - Tank is fully thermal scanned

# Attic

## 1. Methods Used to Inspect

How Inspected: Entering attics that are insulated can be dangerous. Attics with insulation cannot be safely inspected due to limited visibility of the framing members, upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl/walk the attic area when they believe it is a danger to them or that they might damage the attic insulation or cause damage. Due to this it is a limited review of all areas, viewed only from the hatch at attic edge with a flashlight and thermal imaging.

## 2. Framing Condition

INS	NI	NP	RR	SC
x				

Style: Truss

Observations:

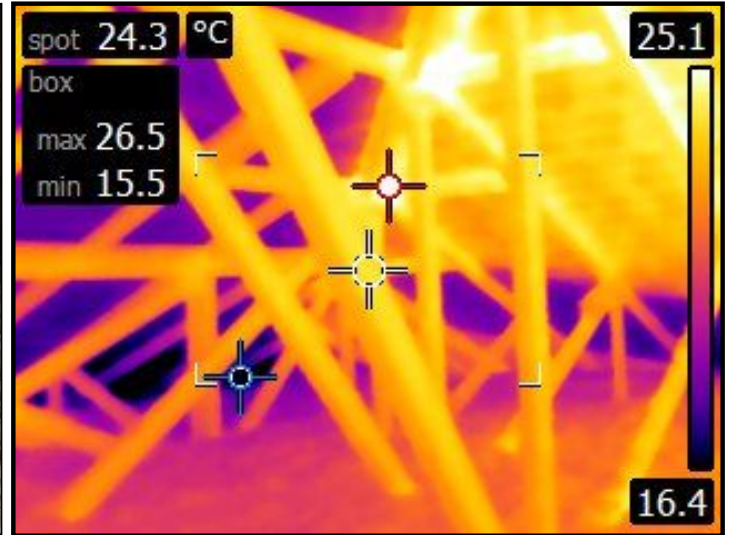
- Unable to determine condition in some areas due to insulation cover.



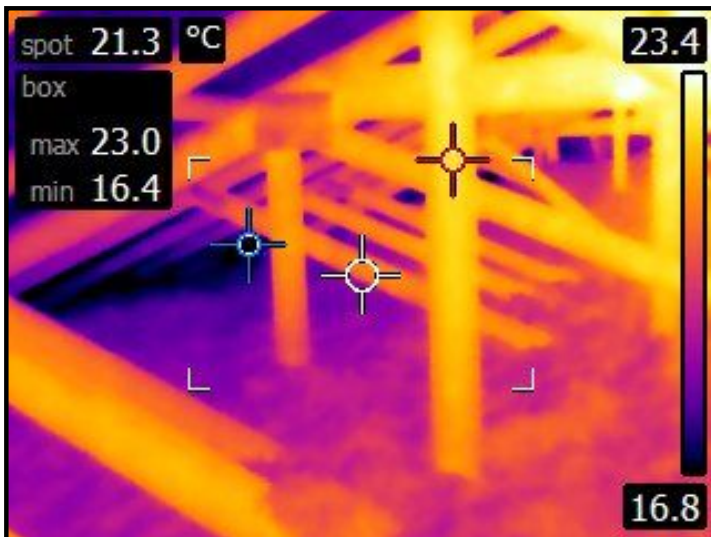
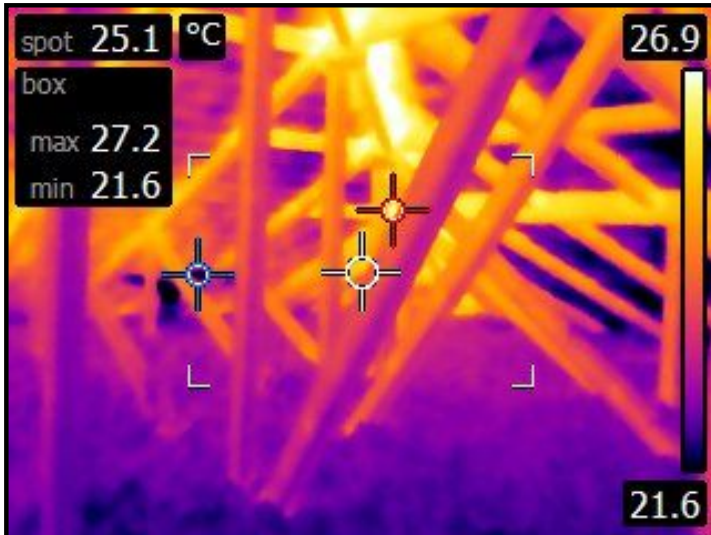
All visibly good in attic area from ladders edge with flash light



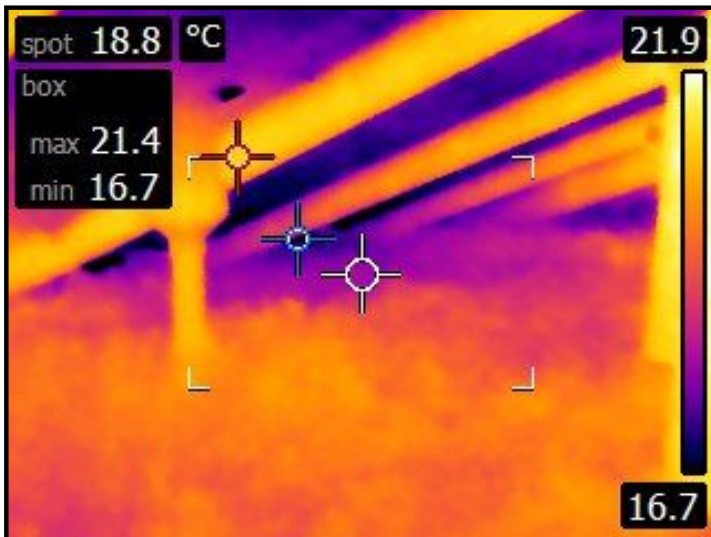




All visibly good in attic area from ladders edge on thermal scan







3. Sheathing Condition

INS	NI	NP	RR	SC
X				

Materials: Plywood/OSB

Observations:

- The attic space was visually inspected and thermally scanned, it all appeared dry on the day of the inspection. (we can only comment on what is visible and assessable areas from the attic hatch at the ladders edge)
- Mild rusting at nail tips noted.

4. Insulation Condition

INS	NI	NP	RR	SC
X				

Materials: Blown in - Loose fill insulation • Rolled/Batt insulation



Staining in insulation would indicate past attic rain



5. Ventilation Conditions

INS	NI	NP	RR	SC
X			X	

Style: Hooded Roof Vents • Soffit Vents

Observations:

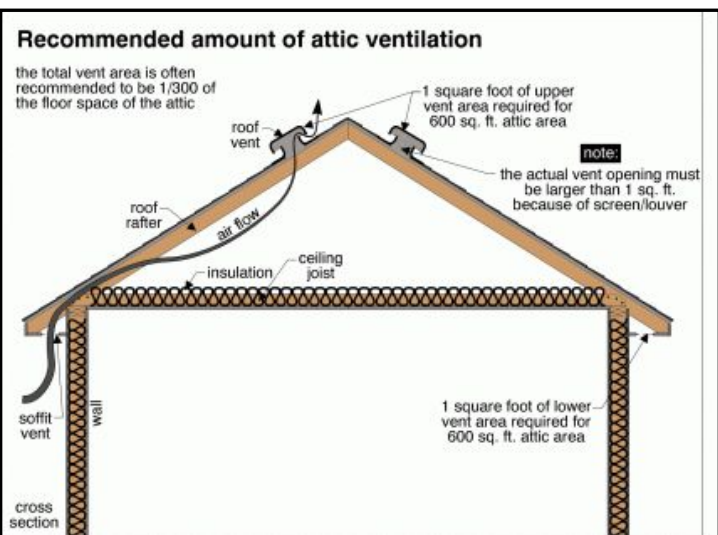
- Proper ventilation in your attic or roof space is critical to the performance of your roofing material. Life cycle, cost of roofing material, house structure, home system venting, attic condensation, ice dams, ceiling leaks, R value of insulation, energy costs, health of occupants, and so much more can be affected.
- Attic stops in place where visible from ladders edge
- **Someone has added batt insulation around the perimeter blocking the soffit vents**
- **No daylight observed at the soffits from the ladders edge. The soffits have blocked by insulation. Ensure the soffits are clear or add additional venting to aid correct venting for the attic space**
- **Insulation is blocking soffit vents, recommend clearing vents for proper ventilation.**



No daylight observed at the soffits from the ladders edge. The soffits have blocked by insulation. Ensure the soffits are clear or add additional venting to aid correct venting for the attic space



Someone has added batt insulation around the perimeter blocking the soffit vents

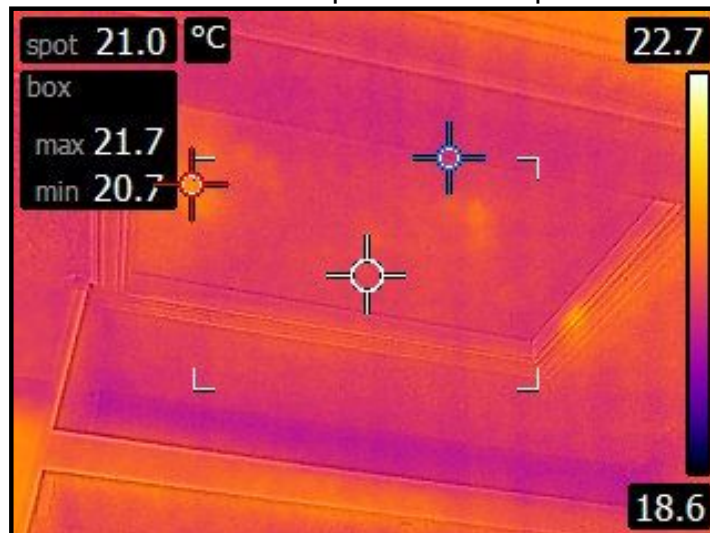


## 6. Attic Comments

INS	NI	NP	RR	SC
X			X	

## Observations:

- Attic rain - This is an issue that can only be detected when it is actually happening, the inspector cannot tell if it will happen in the future in this home.
- During the winter/spring thaw and freak weather conditions it is possible to have moisture issues in the attic space that can penetrate the walls and ceilings of the home. Common causes are frost build up on the sheathing and ice damming. Recommend monitoring attic conditions during these times.
- Attic should be reviewed at least twice per year to ensure ventilation openings are clear and to ensure development of mould is kept in check. While there may be very little or no evidence of mould build-up in the attic at time of inspection, it can reproduce and spread rapidly should conditions allow it to. Mould can be potentially hazardous and will spread when moisture enters the attic cavity and is not vented to the exterior. Any area of suspected mould should be reviewed by a qualified contractor for analysis and removal.
- Recommend monitoring performance of roof through regular attic review - Water intrusion can occur at any time after the inspection, future performance unknown.
- It is common to see staining around attic hatch entrance and the hatch itself. This happens when heat escapes into attic hatch in winter, hot air hits the cold air and it turns to condensation. This can be helped by replacing weatherstripping. Sometimes the sheathing can also be affected and in extreme cases mould can start to form.
- Comments made on the attic are reflected on recent weather conditions, during long periods of dry spells leaks are not visible, so excluded from being the responsibility of the home inspector, we can only comment on the condition during the home inspection.
- Attic thermally scanned and no major causes for concern noted.
- Recommend installation of fresh weather-stripping at attic hatch to reduce build up of warm moist air which often causes moisture issues.
- Recommend installation of fresh weatherstripping annually at attic hatch to reduce build up of warm moist air which often causes moisture issues.
- Please note attic rain is only visible when occurring during freezing weather conditions. The home inspector cannot predict future events.





## Expectations

1 - Purpose: The purpose of the inspection is to attempt to detect the presence of home defects by performing a visual inspection of the property and it is a snapshot of the condition of the home today at the time of inspection. This report will not address environmental concerns or provide cost estimates.

2 - Scope: The scope of the inspection is limited to the readily accessible areas of the property and is based on the condition of the property at the precise time and date of the inspection. Things can and do change and a home inspection will not stop these changes from occurring. Furthermore, as such, the report is not a guarantee or warranty that hidden defects do or do not exist. As a courtesy ODDS ON may point out conditions that contribute to possible home problems/defects but such comments are not part of the final report.

3 - Report: The CLIENT will be provided with a report of ODDS ON visual observations. ODDS ON is not able to determine all deficiencies from visual observations alone. Some deficiencies may go un-noted in the report and the client accepts this. The report is not intended to comply with any legal obligations to disclosure. The Home Inspector is a Generalist, not a specialist in all disciplines.

4 - Exclusivity: The report is intended for the sole, confidential and exclusive use and benefit of the CLIENT and ODDS ON has no obligation or duty to any other party. ODDS ON accepts no responsibility for use by third parties. There are no third party beneficiaries to this agreement. This Agreement is not transferable or assignable. Notwithstanding the foregoing, the CLIENT understands that ODDS ON may notify the homeowner, occupant, or appropriate public agency of any condition(s) discovered that may pose a safety or health concern. Inspection is not Building code or By-Law compliance.

5 - Limitation of Liability: It is understood ODDS ON and its associates are not insurers and that the inspection report shall not be construed as a guarantee or warranty of any kind. The CLIENT agrees to hold ODDS ON and their respective officers, agents and employees harmless from and against any and all liabilities, demands, claims, and expenses incident thereto for injuries to persons and for loss of, damage to, destruction of property, cost of repairing or replacing, or consequential damage arising out of or in connection with this inspection.

6 - Major Problems: The purpose of the Home Inspection is to find and identify visible existing major problems apparent on the visual inspection of the home. Home Inspectors can greatly reduce the risk of a home purchase but it is impossible to totally eliminate the risk.

7 - Asbestos can be found in many different forms within the home, If you think asbestos may be in your home, don't panic. Usually the best thing is to leave asbestos material that is in good condition alone.

Generally, material in good condition will not release asbestos fibers.

Check material regularly if you suspect it may contain asbestos. Don't touch it, but look for signs of wear or damage such as tears, abrasions, or water damage. Damaged material may release asbestos fibers. This is particularly true if you often disturb it by hitting, rubbing, or handling it, or if it is exposed to extreme vibration or air flow.

Sometimes the best way to deal with slightly damaged material is to limit access to the area and not touch or disturb it. Discard damaged or worn asbestos gloves, stove-top pads, or ironing board covers. Check with local health, environmental, or other appropriate officials to find out proper handling and disposal procedures.

If asbestos material is more than slightly damaged, or if you are going to make changes in your home that might disturb it, repair or removal by a professional is needed. Before you have your house remodeled, find out whether asbestos materials are present. We strongly recommend this is tested and removed by a professional licensed contractor.

8 - Litigation: The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the Province in which ODDS ON has its principal place of business. If ODDS ON is the substantially prevailing party in any such litigation, the CLIENT shall pay all legal costs, expenses and attorney's fees of ODDS ON in defending said claims.

9 - Environmental Concerns: The inspection will NOT address environmental concerns including, but not limited to: air

quality, water quality/quantity, sealed/underground fuel storage tanks, UFFI, asbestos, radon gas, molds, toxins, etc. The inspection report will also NOT address infestation by wood boring insects, rodents or other vermin. The CLIENT understands and acknowledges that it may be necessary to call on specialists in these areas to identify and evaluate these risks.

10 - Entire Agreement: This Agreement represents the entire agreement between the PARTIES. No statement or promise made by ODDS ON or its respective officers, agents or employees shall be binding

11 - Standards of Practice: The inspection shall be completed in accordance within the Cahpi Standards of Practice and Codes of Ethics. The client is strongly advised to clarify anything that they don't understand

12 - Odds On Home Inspection services is a team of full qualified, insured and bonded home inspectors regulated by the Alberta government, InterNachi and CAHPI. Each individual has its own company name but solely work for Odds On Enterprises Ltd and under the umbrella of Odds On Home Inspection services.

Radon (testing is not part of the inspection)

Radon is an invisible, odorless, tasteless, radioactive gas, and is the second leading cause of lung cancer after smoking and the leading cause of lung cancer for people who have never smoked. This is dependent upon the concentration of radon gas and the length of time (years) a person is exposed. Smokers have been found to be more at risk to developing cancer in relation to long-term radon exposure. The amount of radon gas in the open air is very small, but in some confined spaces like basements, crawlspaces and underground mines, radon gas can accumulate to higher levels and become a health hazard. In 2007, Health Canada reduced the acceptable radon concentration level in dwellings from 800 Becquerel's per cubic metre ( $\text{Bq/m}^3$ ) to 200  $\text{Bq/m}^3$ .

The following short-term measurement devices are available:

CRM –Continuous Radon Monitor record real-time continuous measurements of radon gas over a series of minutes and reports the results, generally in hourly increments. These devices will have methods for storing, displaying, and retrieving the data logged by the device and may also have the ability to measure and track additional environmental parameters above and beyond the radon concentration such as temperature, barometric pressure, and relative humidity, and they often have onboard motion sensors. These devices need to be annually calibrated by the manufacturer.

EL or ES– Electret Ion Chambers consists of a special plastic canister (ion chamber) containing an electrostatically charged disk detector (electret). This type of detector may be deployed for 48 hrs. to 12 months EL for long-term configuration, ES for short-term configuration.

Fees vary for mitigation depending on the methods used. Methods vary according to the foundation configuration.

The testing for radon is outside of the general home inspection and this is for informational purposes only as radon does exist in varying degrees in some Alberta homes and communities. For more information or to contact a local certified radon measurement professional please go to <https://evictradon.org>.

THANK YOU!

Thank you for choosing us to perform this General Home Inspection. The inspection performed to provide data for this report was visual in nature only, and non-invasive. The purpose of this report is to reflect as accurately as possible the visible condition of the home at the time of the inspection. This inspection is not a guarantee or warranty of any kind, but is an inspection for system and major accessible component defects and safety hazards.

The Inspection is not Pass/Fail

A property does not "Pass" or "Fail" a General Home inspection. An inspection is designed to reflect the visual condition of the home at the time of the inspection.

Please feel free to contact me with any questions about either the report or the property, soon after reading the report, or at any time in the future!

The following conditions lie beyond the scope of the Home inspection:

- Identification of building regulation violations;
- Conditions not readily observable;



- Failure to follow manufacturer's installation recommendations
- Any condition requiring research.

#### Read the Report!

Please read your entire inspection report carefully. Although the report has a summary that lists the most important considerations, the body of the report also contains important information.

#### Repairs, Evaluations and Corrections

For your protection, and that of others, all repairs, corrections, or specialist evaluations should be performed by qualified contractors or licensed professionals. Safety hazards or poorly performed work can continue to be a problem, or even be made worse when home sellers try to save money by hiring inexpensive, unqualified workmen, or by doing work themselves.

Be sure to take whatever actions are necessary before the expiration of your Inspection Object Deadline!

#### WHAT is INCLUDED?

Please keep in mind that as home inspectors, we are generalists. It is impossible for us to have the same level of knowledge and experience, or to perform inspections of the different home systems to the same degree as would contractors specializing in each of those systems.

The goal of this inspection report is not to make a purchase recommendation, but to provide you with useful, accurate information that will be helpful in making an informed purchase decision.

**EXTERIOR** –Visual exterior inspection typically includes: Exterior wall covering materials, window and door exteriors, adequate surface drainage, driveway and walkways, exterior electrical components, exterior plumbing components –unless winterized, potential tree issues, and- retaining wall conditions that may affect the home structure. Note: The Home Inspection does not include inspections of irrigation systems, acreage fencing, outbuildings, or swimming pools/spas/saunas unless pre-arranged as ancillary inspections at an additional charge. We cannot comment on areas that are not accessible or visible from ground level. Components of the exterior will require monitoring and maintaining to reduce future/potential issues. Areas concealed by stored items and or snow are excluded from this inspection. All exterior grading should allow for surface and roof water to flow away from the foundation.

**FOUNDATION** - In accordance with our standards of practice, we do our best to identify foundation types and look for any evidence of structural deficiencies. Minor cracks or deteriorated surfaces are common in foundations and most do not represent a structural issue. Several factors can contribute to a foundation's condition. If major cracks, bowing, or other concerning observations are made by the inspector, we routinely recommend further evaluation be made by a qualified contractor or structural engineer. However, we are not specialists, and in the absence of any major visual defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert if you have concerns. We also routinely recommend that an inquiry be made with the seller about their knowledge of any present or prior foundation or structural issues with the home. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to concealment. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons

**ROOF** - The roof will be visually inspected, mounted only if safe to do so, (inspectors discretion) Roof inspections will not be as comprehensive as an inspection performed by a certified roofing contractor. (As the inspector is a generalist) Due to variations of installations and vast number of different roof-covering materials used over the years, the inspection does not include confirmation of proper installation. Home inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof system typically includes visual evaluation of the roof, roof covering materials, flashing (where visible), and roof penetrations. The roof inspection does

not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary. The roof inspection comments are made on the day of inspection only. Snow covered areas are excluded from all home inspection reports. We strongly suggest yearly roofing inspections by a professional roofing contractor.

**GARAGE** –Visual inspection of the garage typically includes: General structure, floor, wall, and ceiling surfaces as visible, operation of accessible conventional doors and door hardware, accessible electrical condition including Ground Fault Circuit Interrupter (GFCI) protection, interior and exterior lighting, stairs and landing, firewall separation from living areas (Please note due to the home inspection being a visual inspection we cannot comment on areas that are not accessible due to vehicles or personal storage), overhead door condition and operation ( We do not test the pressure sensor on the garage door as this can cause damage. We suggest confirming satisfactory proper working order with the seller prior to close)

**LIVING ROOM** - The visual inspection of living rooms includes examination of the following: Floor, walls, and ceiling surfaces, door and window operation, visual skylight condition, and operation, switches and outlets. We are not permitted to move/remove furniture, rugs, coverings, or personal items in the home. We highly recommend you review all areas during your final walk through. Visible areas will be thermal scanned for issues that exist on the day of the inspection.

**FIREPLACE** - Fireplace inspections are limited based on type of fireplace installed. We will test gas and electric fireplaces using normal operating controls only to try and determine proper function of the fireplace. Wood burning fireplaces are not inspected as they require strict permitting and can only lawfully be inspected by a certified W.E.T.T. inspector (Not part of the home inspector)

**KITCHEN** –Visual inspection of the kitchen/dining room area includes condition examination of the following: Walls, ceiling, and floor, switch operation and GFCI protection at receptacles, windows, skylights, and doors, cabinet doors and draws, sink condition, visible water supply and drainage components –Please note the view under the kitchen sinks are typically limited due to stored personal items.

**Appliances** - The inspector will operate appliances for basic function as a courtesy to the client, but will not evaluate them for cosmetic damage, performance, efficiency of specific settings, or cycles. Appliances older than ten years often exhibit decreased efficiency and can fail without notice. As per our Standards of Practice, free standing appliances are not inspected or tested, and any information provided regarding comments made regarding appliances in the home is as a courtesy to the client only and as such, should be considered outside the scope of the home inspection.

**LAUNDRY** –Visual inspection of the laundry room includes examination of the following: Floor, walls, and ceiling surfaces, door and window condition and operation, switches and outlets, sink, faucet, drain, and under sink plumbing, cabinets. Please note: Clothes washers/dryers are operated at the discretion of the Inspector and will not be operated if full of the owner's clothes at the time of inspection. Appliances in the home can fail at any time, the appliances are run on short cycles and checked for leaks only. We cannot comment on their working performance, or every cycle.

**OTHER AREAS** - The Other Interior Areas section covers areas of the house that are not considered bathrooms, bedrooms, kitchen, or areas covered elsewhere in the report. Other areas usually consist of hallways and open areas within the home. Within these areas the inspector will conduct a visual inspection and will report visible deficiencies. Please note we cannot comment on areas that are not accessible or visible. The home inspection is a non invasive,



visual inspection only. We are not permitted to move/remove personal items, large or small. Personal items in the home may hinder the inspector from viewing deficiencies –It is suggested these areas are reviewed on your final walkthrough as the home should be empty and concealed areas visible. Please be aware, inspectors DO NOT inspect or test for mold, asbestos, or other hazardous materials. A qualified expert should be consulted should you require further invasive testing prior to waving conditions.

**BEDROOMS** –Visual inspection of bedrooms includes review of the following: Floor, walls, and ceiling surfaces, door and window condition and operation, skylight condition if applicable, and switch and outlet operation. Please note, we cannot comment on areas that are not accessible or visible. We are not permitted to move personal items in the home.

**BATHROOMS** –Visual inspection of bathrooms typically include the following: Walls, floors, and ceiling, sink, faucet, and drains cabinets, cabinet doors and drawers, under sink area, tubs and showers (visual shower function, surround condition), electrical (outlets, lighting), room ventilation (ducting and termination points are not part of the inspection) Inspection of the bathroom is a visual inspection only. Visual areas are thermal scanned or leaks/water issues that exist on the day of the inspection. Please note, plumbing can leak/fail at any time. Due to this we highly recommend monitoring all areas regularly. Be aware we do not apply weight on shower trays or in tubs. We have no access beneath tubs or shower trays. Hidden issues are excluded from the inspection report.

**BASEMENT** –Visual inspection of basement/crawlspace includes review of the following: Floor, walls, and ceiling surfaces, door and window condition and operation, a representative number of switches and outlets, visible joists, beams, support posts, subfloor, and insulation systems. Please note that visibility in the basement is often limited due to stored personal items. Weather conditions and wall finishes can all contribute to inconclusive review of foundation performance. While there may not be any evidence of moisture at the time of inspection, the inspector cannot guarantee basement against possible future moisture penetration. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be evaluated and are not to be considered a part of this inspection.

**PLUMBING** –Visual inspection of the plumbing system typically includes: water supply pipes, drain, waste function, water heater (type, condition, and operation), sump pump components if visible (confirmation of pump operation only). Plumbing comments are made after visible areas are reviewed and thermal scanned after running ample water through each fixture –Leaking can occur at any time.

**ELECTRICAL** –Visual inspection of electrical system - Many types and brands of electrical components have been installed over the years, electrical components and standards have changed and continue to change. For this reason, an invasive, detailed inspection of home electrical systems lies beyond the scope of the home Inspection. The Inspection of the electrical system is limited to identifying common electrical requirements and deficiencies. Conditions requiring a more comprehensive inspection will be referred to a qualified, code compliant electrical contractor. (We cannot comment on recalled electrical components or panels) Inspection of the homes exterior electrical components includes the following: Service drop: conductors, weather head, and service mast, electric meter exterior, service panel and sub-panels, service and equipment grounding if visible, visible branch wiring: receptacles (representative number as accessible), switches, and lighting.

**HEATING** –Visual heating, ventilation, and and cooling system (often referred to as HVAC) is the climate control system for the home. The goal of these systems is to keep the occupants comfortable. The HVAC system is usually powered by electricity and/or natural gas but can also be powered by other sources such as butane, oil, propane, solar panels, or wood. The inspector will test the heating and air conditioner using the thermostat only. For a more detailed investigation of the HVAC system please contact a licensed HVAC contractor. We suggest regular servicing, maintenance, and changing of filters as recommended by the manufacturer.

**WATER HEATERS** –Visual inspection only of water heater(s) –These should be expected to function for the length of the warranty only, even though many operate adequately many years past the warranty expiry date –but typically we recommend closely monitoring tanks reaching ages of 10-12 years. Water heater lifespan is often affected by the following conditions: Quality of the water heater, chemical composition of the water, water temperature settings, quality and frequency of past and future maintenance.

**ATTIC** –Visual inspection of the attic includes visual examination from ladders edge of the following components: roof system including framing and sheathing, attic space ventilation, insulation, and thermal scan of attic conditions at time of inspection. .

**Final Walk Through of the home prior to closing** –The Final Walk-Through prior to closing conditions on the sale of the home, is the ideal time for the client to inspect the property. The condition of the home can change between the time a home inspection is performed and the time of closing. During your home inspection, areas of the home may have been inaccessible to the inspector due to furniture, floor coverings, personal and stored items, or other visual obstructions. For this reason, it is Strongly Recommended that you conduct a Final Walk Through prior to closing to re-examine the condition of the home while it is accessible and unobstructed. Defects or problems that were not observed during the home inspection may be discovered during the walk-through. Clients should be very thorough during the walk-through using your home inspection report as a guide with special attention given to concealed / obstructed areas that were not able to be inspected at the time the home inspection was conducted.

Contact your home inspector immediately if any issues, concerns, or conditions are observed during the Final Walk through that were not noted in your inspection report. Any defect or problem discovered during the walk-through should be addressed with the seller satisfactorily prior to closing. Purchasing the property with known defects releases Odds On of responsibility for future issues related to those known defects.

**REPORT LIMITATIONS** - This report is intended as a general guide to assist the client in making an evaluation of the overall condition of the property and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual interpretation of the conditions existing at the time and date of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. This is a non invasive inspection and no disassembly of equipment, opening of walls, moving of furniture appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The inspection is performed in compliance with the current version of the International Residential Standards of Practice (CAHPI), a copy of which is available at the following websites: [www.cbhi.biz](http://www.cbhi.biz) / [www.nachi.org](http://www.nachi.org). Systems and conditions which are not within the scope of the inspection include but are not limited to: formaldehyde, lead paint, asbestos, mold or methamphetamine contamination, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these

systems and conditions are informational only and do not represent an inspection. The inspection report should not be construed as a compliance inspection of any governmental or non-governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.





# Canadian Association Of Home & Property Inspectors

## 2012 NATIONAL STANDARDS OF PRACTICE

The National Standards of Practice are a set of guidelines for home and property inspectors to follow in the performance of their inspections. They are the most widely accepted Canadian home inspection guidelines in use, and address all the home's major systems and components. The National Standards of Practice and Code of Ethics are recognized by many related professionals as the definitive Standards for professional performance in the industry.

These National Standards of Practice are being published to inform the public on the nature and scope of visual building inspections performed by home and property inspectors who are members of the Canadian Association of Home and Property Inspectors (CAHPI).

The purpose of the National Standards of Practice is to provide guidelines for home and property inspectors regarding both the inspection itself and the drafting of the inspection report, and to define certain terms relating to the performance of home inspections to ensure consistent interpretation.

To ensure better public protection, home and property inspectors who are members of CAHPI should strive to meet these Standards and abide by the CAHPI Code of Ethics.

These Standards take into account that a visual inspection of a building does not constitute an evaluation or a verification of compliance with building codes, Standards or regulations governing the construction industry or the health and safety industry, or Standards and regulations governing insurability.

*Any terms not defined in these Standards shall have the meaning commonly assigned to it by the various trades and professions, according to context.*

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10. Fireplaces & Solid Fuel Burning Appliances
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13. Insulation and Vapour Barriers
14. Mechanical and Natural Ventilation Systems

*Glossary Note: Italicized words are defined in the Glossary.*

## 1. INTRODUCTION

**1.1** The Canadian Association of Home and Property Inspectors (CAHPI) is a not-for-profit association. CAHPI strives to promote excellence within the profession and continual improvement of inspection services to the public.

## 2. PURPOSE AND SCOPE

**2.1** The purpose of these National Standards of Practice is to establish professional and uniform Standards for private, fee-paid home inspectors who are members of CAHPI. Home Inspections performed to these National Standards of Practice are intended to provide information regarding the condition of the systems and components of the building as inspected at the time of the Home Inspection. This does NOT include building code inspections.

These National Standards of Practice enable the building being inspected to be compared with a building that was constructed in accordance with the generally accepted practices at the time of construction, and which has been adequately maintained such that there is no significant loss of *functionality*.

It follows that the building may not be in compliance with current building codes, standards and regulations that are applicable at the time of inspection.

These National Standards of Practice apply to inspections of part or all of a building for the following building types:

- single-family dwelling, detached, semi-detached or row house
- multi unit residential building
- residential building held in divided or undivided co ownership
- residential building occupied in part for a residential occupancy and in part for a commercial occupancy, as long as the latter use does not exceed 40% of the building's total area, excluding the basement.

## 2.2 THE INSPECTOR SHALL:

### A. inspect:

1. *readily accessible*, visually observable *installed systems*, and *components* of buildings listed in these National Standards of Practice.

### B. report:

1. on those *systems* and *components* installed on the building inspected which, in the professional opinion or judgement of the *inspector*, *have a significant deficiency* or are unsafe or are near the end of their *service lives*.
2. a reason why, if not self-evident, the *system* or *component has a significant deficiency* or is unsafe or is near the end of its *service life*.
3. the inspector's recommendations to correct or monitor the reported deficiency.
4. on any *systems* and *components* designated for inspection in these National Standards of Practice which were present at the time of the *Home Inspection* but were not inspected and a reason they were not inspected.

**2.3** *These National Standards of Practice are not intended to limit inspectors from:*

- A. including other inspection services in addition to those required by these National Standards of Practice provided the *inspector* is appropriately qualified and willing to do so.
- B. excluding *systems* and *components* from the inspection if requested by the client or as dictated by circumstances at the time of the inspection.

## 3. GENERAL LIMITATIONS AND EXCLUSIONS

### 3.1 GENERAL LIMITATIONS:

- A. Inspections performed in accordance with these National Standards of Practice
  1. are not *technically exhaustive*.
  2. will not identify concealed conditions or latent defects.

### 3.2 GENERAL EXCLUSIONS:

**A.** The *inspector* is not required to perform any action or make any determination unless specifically stated in these National Standards of Practice, except as may be required by lawful authority.

**B.** *Inspectors* are NOT required to determine:

1. condition of *systems* or *components* which are not *readily accessible*.
2. remaining life of any *system* or *component*.
3. strength, adequacy, effectiveness, or efficiency of any *system* or *component*.
4. causes of any condition or deficiency.
5. methods, materials, or costs of corrections.
6. future conditions including, but not limited to, failure of *systems* and *components*.
7. suitability of the property for any use.
8. compliance with regulatory requirements (codes, regulations, laws, ordinances, etc.).
9. market value of the property or its marketability.
10. advisability of the purchase of the property.
11. presence of potentially hazardous plants, animals or insects including, but not limited to wood destroying organisms, diseases or organisms harmful to humans.
12. presence of any environmental hazards including, but not limited to toxins, carcinogens, noise, and contaminants in soil, water, and air.
13. effectiveness of any *system* installed or methods utilized to control or remove suspected hazardous substances.
14. operating costs of *systems* or *components*.
15. acoustical properties of any *system* or *component*
16. design adequacy with regards to location of the home, or the elements to which it is exposed.

**C.** *Inspectors* are NOT required to offer or perform:

1. any act or service contrary to law, statute or regulation.
2. *engineering, architectural* and technical services.
3. work in any trade or any professional service other than *home inspection*.
4. warranties or guarantees of any kind.

**D.** *Inspectors* are NOT required to operate:

1. any *system* or *component* which is *shut down* or otherwise inoperable.
2. any *system* or *component* which does not respond to *normal operating controls*.
3. shut-off valves.

**E.** *Inspectors* are NOT required to enter:

1. any area which will, in the opinion of the *inspector*, likely be hazardous to the *inspector* or other persons or damage the property or its *systems* or *components*.

2. *confined spaces*.

3. spaces which are not readily accessible.

**F.** *Inspectors* are NOT required to *inspect*:

1. underground items including, but not limited to storage tanks or other indications of their presence, whether abandoned or active.
2. *systems* or *components* which are not *installed*.
3. *decorative* items.
4. *systems* or *components* located in areas that are not readily accessible in accordance with these National Standards of Practice.
5. detached structures.
6. common elements or common areas in multi-unit housing, such as condominium properties or cooperative housing when inspecting an individual unit(s), including the roof and building envelope.
7. test and/or operate any installed fire alarm system, burglar alarm system, automatic sprinkler system or other fire protection equipment, electronic or automated installations, telephone, intercom, cable/internet systems and any lifting equipment, elevator, freight elevator, wheelchair lift, climbing chair, escalator or others;
8. pools, spas and their associated safety devices, including fences.

**G.** *Inspectors* are NOT required to:

1. perform any procedure or operation which will, in the opinion of the *inspector*, likely be hazardous to the *inspector* or other persons or damage the property or its *systems* or *components*.
2. move suspended ceiling tiles, personal property, furniture, equipment, plants, soil, snow, ice, or debris.
3. *dismantle* any *system* or *component*, except as explicitly required by these National Standards of Practice.



## 4. STRUCTURAL SYSTEMS

### 4.1 THE INSPECTOR SHALL:

#### A. inspect:

1. *structural components* including visible foundation and framing.
2. by *probing* a sample of structural components where deterioration is suspected or where clear indications of possible deterioration exist. *Probing* is NOT required when *probing* would damage any finished surface or where no deterioration is visible.

#### B. describe:

1. foundation(s).
2. floor structure(s).
3. wall structure(s).
4. ceiling structure(s).
5. roof structure(s).

#### C. report:

1. on conditions limiting access to structural components.
2. methods used to *inspect* the *under-floor crawl space*
3. methods used to *inspect* the attic(s).

### 4.2 THE INSPECTOR IS NOT REQUIRED TO:

- A. provide any *engineering service* or *architectural service*.
- B. offer an opinion as to the adequacy of any *structural system* or *component*.

## 5. EXTERIOR SYSTEMS

### 5.1 THE INSPECTOR SHALL:

#### A. inspect:

1. exterior wall covering(s), flashing and trim.
2. all exterior doors.
3. attached or *adjacent* decks, balconies, steps, porches, and their associated railings.
4. eaves, soffits, and fascias where accessible from the ground level.
5. vegetation, grading, and surface drainage on the property when any of these are likely to adversely affect the building.
6. walkways, patios, and driveways leading to dwelling entrances.
7. landscaping structure attached or adjacent to the building when likely to adversely affect the building.
8. attached garage or carport.
9. garage doors and garage door operators for attached garages.

#### B. describe

1. exterior wall covering(s).

#### C. report:

1. the method(s) used to inspect the exterior wall elevations.

### 5.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect:

1. screening, shutters, awnings, and similar seasonal accessories.
2. fences.
3. geological, geotechnical or hydrological conditions.
4. *recreational facilities*.
5. detached garages and outbuildings.
6. seawalls, break-walls, dykes and docks.
7. erosion control and earth stabilization measures.

## 6. ROOF SYSTEMS

### 6.1 THE INSPECTOR SHALL:

#### A. inspect:

1. *readily accessible* roof coverings.
2. *readily accessible* roof drainage systems.
3. *readily accessible* flashings.
4. *readily accessible* skylights, chimneys, and roof penetrations.

#### B. describe

1. roof coverings.

#### C. report:

1. method(s) used to inspect the roof(s).

### 6.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect:

1. antennae and satellite dishes.
2. interiors of flues or chimneys.
3. other *installed* items attached to but not related to the roof system(s).

## 7. PLUMBING SYSTEMS

### 7.1 THE INSPECTOR SHALL:

#### A. inspect:

1. interior water supply and distribution *systems* including all fixtures and faucets.
2. drain, waste and vent *systems* including all fixtures.
3. water heating equipment and associated venting systems.
4. water heating equipment fuel storage and fuel distribution systems.
5. fuel storage and fuel distribution *systems*.
6. drainage sumps, sump pumps, and related piping.

#### B. describe:

1. water supply, distribution, drain, waste, and vent piping materials.
2. water heating equipment including the energy source.
3. location of main water and main fuel shut-off valves.

## 7.2 THE INSPECTOR IS NOT REQUIRED TO:

### A. inspect:

1. clothes washing machine connections.
2. wells, well pumps, or water storage related equipment.
3. water conditioning *systems*.
4. solar water heating *systems*.
5. fire and lawn sprinkler *systems*.
6. private waste disposal *systems*.

### B. determine:

1. whether water supply and waste disposal *systems* are public or private.
2. the quantity or quality of the water supply.

### C. operate:

1. safety valves or shut-off valves.

## 8. ELECTRICAL SYSTEMS

### 8.1 THE INSPECTOR SHALL:

#### A. inspect:

1. service drop.
2. service entrance conductors, cables, and raceways.
3. service equipment and main disconnects.
4. service grounding.
5. interior components of service panels and sub panels.
6. distribution conductors.
7. overcurrent protection devices.
8. a *representative number* of *installed* lighting fixtures, switches, and receptacles.
9. ground fault circuit interrupters (GFCI) (if appropriate).
10. arc fault circuit interrupters (AFCI) (if appropriate).

#### B. describe:

1. amperage and voltage rating of the service.
2. location of main disconnect(s) and subpanel(s).
3. *wiring methods*.

#### C. report:

1. presence of solid conductor aluminum branch circuit wiring.
2. absence of carbon monoxide detectors (if applicable).
3. absence of smoke detectors.
4. presence of ground fault circuit interrupters (GFCI).
5. presence of arc fault circuit interrupters (AFCI).

### 8.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect:

1. remote control devices unless the device is the only control device.
2. alarm *systems* and *components*.
3. low voltage wiring, *systems* and *components*.
4. ancillary wiring, *systems* and *components* not a part of the primary electrical power distribution *system*.

5. telecommunication equipment.

#### B. measure:

1. amperage, voltage, or impedance.

## 9. HEATING SYSTEMS

### 9.1 THE INSPECTOR SHALL:

#### A. inspect:

1. *readily accessible* components of *installed* heating equipment.
2. vent systems, flues, and chimneys.
3. fuel storage and fuel distribution *systems*.

#### B. describe:

1. energy source(s).
2. heating method(s) by distinguishing characteristics.
3. chimney(s) and/or venting material(s).
4. combustion air sources.
5. exhaust venting methods (naturally aspirating, induced draft, direct vent, direct vent sealed combustion).

### 9.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect:

1. interiors of flues or chimneys.
2. heat exchangers.
3. auxiliary equipment.
4. electronic air filters.
5. solar heating *systems*.

#### B. determine:

1. system adequacy or distribution balance.

## 10. FIREPLACES AND SOLID FUEL BURNING APPLIANCES

(Unless prohibited by the authority having jurisdiction)

### 10.1 THE INSPECTOR SHALL:

#### A. inspect:

1. system components
2. vent systems and chimneys

#### B. describe:

1. fireplaces and solid fuel burning appliances
2. chimneys

### 10.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect:

1. interior of flues or chimneys
2. screens, doors and dampers
3. seals and gaskets
4. automatic fuel feed devices
5. heat distribution assists whether fan assisted or gravity

#### B. ignite or extinguish fires

#### C. determine draught characteristics

#### D. move fireplace inserts, stoves, or firebox contents

## 11. AIR CONDITIONING SYSTEMS

### 11.1 THE INSPECTOR SHALL:

#### A. inspect

1. permanently *installed* central air conditioning equipment.

#### B. describe:

1. energy source.
2. cooling method by its distinguishing characteristics.

### 11.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect

1. electronic air filters.
2. portable air conditioner(s).

#### B. determine:

1. system adequacy or distribution balance.

## 12. INTERIOR SYSTEMS

### 12.1 THE INSPECTOR SHALL:

#### A. inspect:

1. walls, ceilings, and floors.
2. steps, stairways, and railings.
3. a *representative number* of countertops and *installed* cabinets.
4. a *representative number* of doors and windows.
5. walls, doors and ceilings separating the habitable spaces and the garage.

#### B. describe:

1. materials used for walls, ceilings and floors.
2. doors.
3. windows.

#### C. report

1. absence or ineffectiveness of guards and handrails or other potential physical injury hazards.

### 12.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. inspect:

1. *decorative* finishes.
2. window treatments.
3. central vacuum *systems*.
4. *household appliances*.
5. *recreational facilities*.

## 13. INSULATION AND VAPOUR BARRIERS

### 13.1 THE INSPECTOR SHALL:

#### A. inspect:

1. insulation and *vapour barriers* in unfinished spaces.

#### B. describe:

1. type of insulation material(s) and *vapour barriers* in unfinished spaces.

#### C. report

1. absence of insulation in unfinished spaces within the building envelope.
2. presence of vermiculite insulation

### 13.2 THE INSPECTOR IS NOT REQUIRED TO:

#### A. disturb

1. insulation.
2. *vapour barriers*.

#### B. obtain sample(s) for analysis

1. insulation material(s).

## 14. MECHANICAL AND NATURAL VENTILATION SYSTEMS

### 14.1 THE INSPECTOR SHALL:

#### A. inspect:

1. ventilation of attics and foundation areas.
2. mechanical ventilation *systems*.
3. ventilation systems in areas where moisture is generated such as kitchen, bathrooms, laundry rooms.

#### B. describe:

1. ventilation of attics and foundation areas.
2. mechanical ventilation *systems*.
3. ventilation systems in areas where moisture is generated such as: kitchens, bathrooms and laundry rooms.

#### C. report:

1. absence of ventilation in areas where moisture is generated such as: kitchens, bathrooms and laundry rooms.

### 14.2 THE INSPECTOR IS NOT REQUIRED TO:

1. determine indoor air quality.
2. determine system adequacy or distribution balance.



## GLOSSARY

### Adjacent

Nearest in space or position; immediately adjoining without intervening space.

### Alarm Systems

Warning devices, installed or free-standing, including but not limited to; carbon monoxide detectors, flue gas and other spillage detectors, security equipment, ejector pumps and smoke alarms.

### Architectural Service

Any practice involving the art and science of building design for construction of any structure or grouping of structures and the use of space within and surrounding the structures or the design for construction, including but not specifically limited to, schematic design, design development, preparation of construction contract documents, and administration of the construction contract, adequacy of design for the location and exposure to the elements.

### Automatic Safety Controls

Devices designed and installed to protect *systems* and *components* from unsafe conditions.

### Component

A part of a *system*.

### Confined Spaces

An enclosed or partially enclosed area that:

1. Is occupied by people only for the purpose of completing work.
2. Has restricted entry/exit points.
3. Could be hazardous to people entering due to:
  - a. its design, construction, location or atmosphere.
  - b. the materials or substances in it, or
  - c. any other conditions which prevent normal inspection procedure.

### Decorative

Ornamental; not required for the operation of the essential *systems* and *components* of a building.

### Describe

To *report a system or component* by its type or other observed, significant characteristics to distinguish it from other *systems* or *components*.

### Determine

To find out, or come to a conclusion by investigation.

### Dismantle

To take apart or remove any component, device, or piece of equipment that would not be taken apart or removed by a homeowner in the course of normal and routine home owner maintenance.

### Engineering Service

Any professional service or creative work requiring engineering education, training, and experience and the application of special knowledge of the mathematical, physical and engineering sciences to such professional service or creative work as consultation, investigation, evaluation, planning, design and supervision of construction for the purpose of assuring compliance with the specifications and design, in conjunction with structures, buildings, machines, equipment, works or processes.

### Functionality

The purpose that something is designed or expected to fulfill.

### Further Evaluation

Examination and analysis by a qualified professional, tradesman or service technician beyond that provided by the *home inspection*.

### Home Inspection

The process by which an *inspector* visually examines the *readily accessible systems* and *components* of a building and which *describes* those *systems* and *components* in accordance with these National Standards of Practice.

### Household Appliances

Kitchen, laundry, and similar appliances, whether *installed* or freestanding.

### Inspect

To examine *readily accessible systems* and *components* of a building in accordance with these National Standards of Practice, *where applicable* using *normal operating controls* and opening *readily openable access panels*.

### Inspector

A person hired to examine any *system* or *component* of a building in accordance with these National Standards of Practice.

### Installed

Set up or fixed in position for current use or service.

### Monitor

Examine at regular intervals to detect evidence of change.

### Normal Operating Controls

Devices such as thermostats, switches or valves intended to be operated by the homeowner.

### Operate

To cause to function, turn on, to control the function of a machine, process, or system.

**Probing**

Examine by touch.

**Readily Accessible**

Available for visual inspection without requiring moving of personal property, *dismantling*, destructive measures, or any action which will likely involve risk to persons or property.

**Readily Openable Access Panel**

A panel provided for homeowner inspection and maintenance that is within normal reach, can be removed by one person, and is not sealed in place.

**Recreational Facilities**

Spas, saunas, steam baths, swimming pools, exercise, entertainment, athletic, playground or other similar equipment and associated accessories.

**Report**

To communicate in writing.

**Representative Number**

One *component* per room for multiple similar interior *components* such as windows and electric outlets; one *component* on each side of the building for multiple similar exterior *components*.

**Roof Drainage Systems**

Components used to carry water off a roof and away from a building.

**Sample**

A representative portion selected for inspection.

**Service Life/Lives**

The period during which something continues to function fully as intended.

**Significant Deficiency**

A clearly definable hazard or a clearly definable potential for failure or is unsafe or not functioning.

**Shut Down**

A state in which a *system* or *component* cannot be operated by *normal operating controls*.

**Solid Fuel Burning Appliances**

A hearth and fire chamber or similar prepared place in which a fire may be built and which is built in conjunction with a chimney; or a listed assembly of a fire chamber, its chimney and related factory-made parts designed for unit assembly without requiring field construction.

**Structural Component**

A component that supports non-variable forces or weights (dead loads) and variable forces or weights (live loads).

**System**

A combination of interacting or interdependent components, assembled to carry out one or more functions.

**Technically Exhaustive**

An inspection is technically exhaustive when it is done by a specialist who may make extensive use of measurements, instruments, testing, calculations, and other means to develop scientific or engineering findings, conclusions, and recommendations.

**Under-floor Crawl Space**

The area within the confines of the foundation and between the ground and the underside of the floor.

**Unsafe**

A condition in a *readily accessible, installed system* or *component* which is judged to be a significant risk of personal injury during normal, day-to-day use. The risk may be due to damage, deterioration, missing or improper installation or a change in accepted residential construction Standards.

**Vapour Barrier**

Material used in the building envelope to retard the passage of water vapour or moisture.

**Visually Accessible**

Able to be viewed by reaching or entering.

**Wiring Methods**

Identification of electrical conductors or wires by their general type, such as "non-metallic sheathed cable" ("Romex"), "armored cable" ("bx") or "knob and tube", etc.

*Note - In these National Standards of Practice, redundancy in the description of the requirements, limitations and exclusions regarding the scope of the Home Inspection is provided for clarity not emphasis.*

*(CAHPI acknowledges The American Society of Home Inspectors®, Inc. (ASHI®) for the use of their Standards of Practice (version January 1, 2000)*

(AUGUST 22/12 VER. F)

# CAHPI National Code of Ethics

Integrity, honesty, objectivity and courtesy are fundamental moral principles embodied by this code. The individual members (hereinafter referred to as “members”) of CAHPI agree with and pledge to uphold these principles as the set of ideals guiding member conduct. This code of ethical conduct for the home inspection profession is accepted and understood to be a professional duty accompanying CAHPI membership.

Members shall comply with this Code in its entirety and shall avoid potential conflicts of interest or activities that compromise or appear to compromise professional independence, objectivity, or inspector integrity. Members shall discharge their duties with fidelity to the public, their clients and fellow-professionals and with fairness and impartiality to all. Members shall uphold the honor and dignity of the profession and avoid association with any enterprise of questionable character that would place the member in a potential conflict of interest.

The members shall always act in good faith toward all.

Specifically:

- a. Members shall avoid conflicts of interest or activities that compromise, or appear to compromise, professional independence, objectivity or inspector integrity.
- b. Members shall not inspect properties for compensation in which they have, or expect to have, a financial or vested interest of any kind.
- c. Members shall promptly and fully disclose to the client any interest in a business that may potentially affect the quality of the inspection work to be performed.
- d. The inspection shall not be used as a vehicle to garner additional work in another field.
- e. Members shall not perform inspections under contingency arrangements whereby any compensation or future referrals are dependent on reported findings or on the future sale of the property.
- f. Members shall not directly or indirectly compensate realty agents, brokers or other parties having a financial vested interest in the closing or settlement of real estate transactions, for the future referral of inspections or for the inclusion on a list of “preferred” providers/inspectors or similar arrangements that may appear to compromise the above mentioned principles.
- g. Members shall not accept compensation, directly or indirectly, from more than one party unless agreed to by all parties involved.
- h. Members shall not accept compensation, directly or indirectly, for referring or recommending contractors, service providers and/or products to inspection clients or any other party having an interest in the property being inspected.

2. Members shall act in good faith to all.

- a. Members shall only perform inspection services, accompanied with expressed opinions, based on genuine conviction within their limits of education, training and experience.
- b. Members shall always be objective in their reporting and not knowingly overstate or understate the significance of observed conditions.
- c. Members shall not disclose inspection results, property or client information without client approval.
- d. Members shall report/disclose to the occupants, or their agents, any apparent serious defect that creates an imminent potential for harm arising from exposure to the defect.



3. Members shall avoid activities that may harm the public, discredit themselves, or reduce public confidence in the profession or a fellow member.

- a. Members shall refrain from advertising, promoting or marketing of inspector services, designations or qualifications that are fraudulent, false, deceptive, or misleading.
- b. Members shall make every effort to uphold, maintain and improve the professional integrity, reputation and practices of the home inspection profession. Members shall report any substantive and willful violations of this code to the Canadian Association of Home & Property Inspectors.

4. Duty to the profession and Association:

- a. Members shall strive to meet and maintain the ideals and goals of the Association and the home inspection industry.
- b. Members shall refrain from engaging in any act or practice that would be deemed harmful, libelous, or damaging to the Association, Association employees, Association Directors or fellow members.
- c. Members shall abide by the Association's By-laws, Standards and policy documents.
- d. Members shall display the Association's trademarks, logos and designations in the approved manner only.

NOTE: Presentation of this Code of Ethics does not guarantee that the inspector is a member of Canadian Association of Home & Property Inspectors (CAHPI) or working to this Standard. Confirm membership by visiting the CAHPI websites.